

PROPOSED INDUSTRIAL DEVELOPMENT

LOTS 3 & 12, 7 DURSLEY ROAD YENNORA NSW

ARCHITECTURAL DRAWING SCHEDULE

DRAWING NO.DRAWING NAME			REVISION	ISSUE DATE
S96	0000	COVER SHEET	Q	2019/01/17
S96	0001	LOCATION PLAN	H	2018/08/28
S96	0002	SITE PLAN	X	2019/01/17
S96	0003	SITE ANALYSIS	J	2018/08/28
S96	1000	WAREHOUSE 1 - GROUND FLOOR PLAN	R	2019/01/17
S96	1001	WAREHOUSE 1 - ROOF PLAN	J	2018/08/28
S96	1100	OFFICE 1 PLANS	H	2018/08/28
S96	1110	OFFICE 2 - FLOOR PLANS	H	2018/08/28
S96	2000	WAREHOUSE 1 - ELEVATIONS AND EXTERNAL FINISHES	L	2019/01/10
S96	2100	OFFICE 2 - ELEVATIONS	J	2018/08/28
S96	3000	SECTIONS	J	2018/08/28
S96	9000	PERSPECTIVES	H	2018/08/28
Grand total: 12				

ARCHITECT: REID CAMPBELL

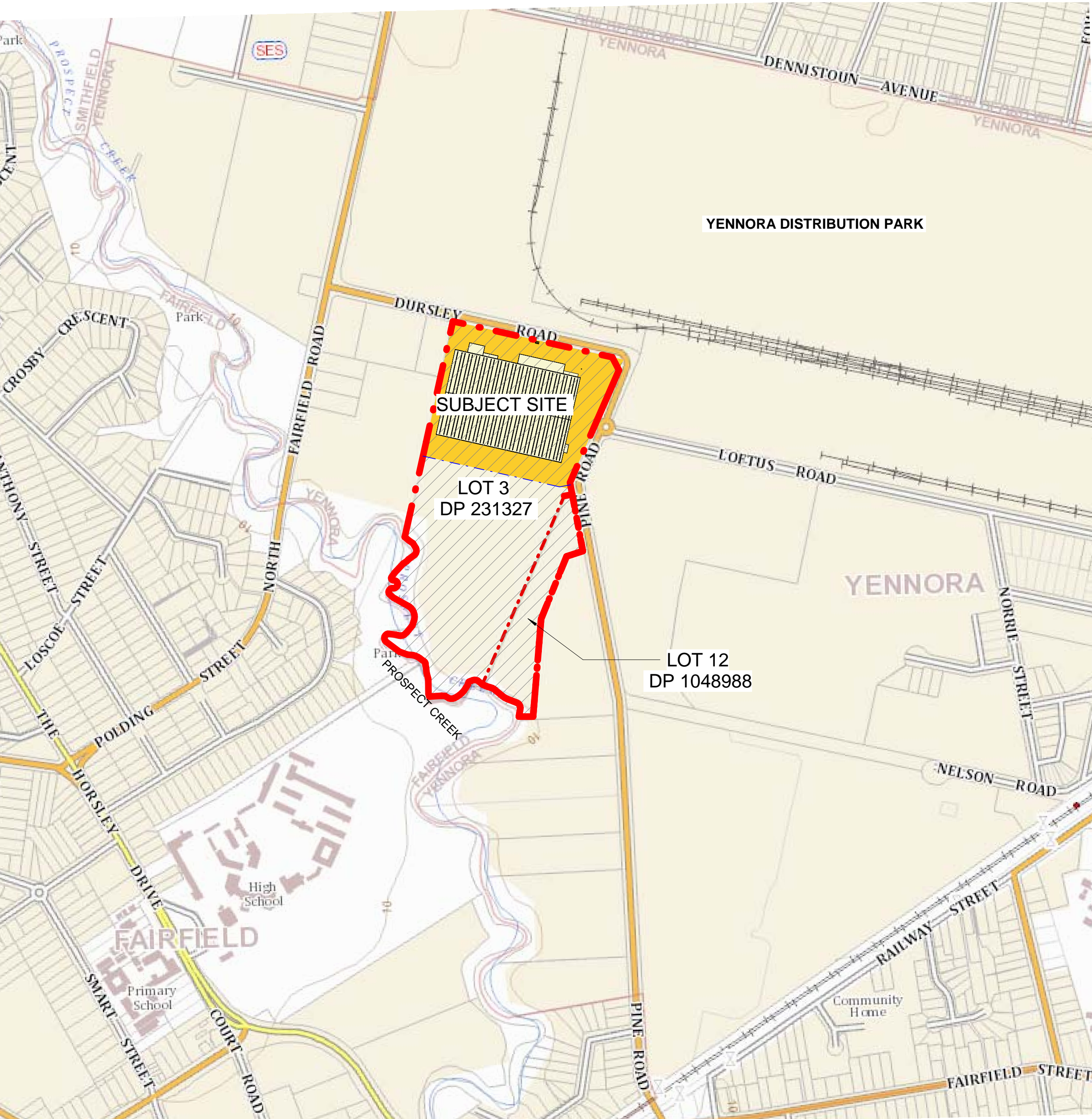
PROJECT MANAGER: TUBB & ASSOCIATES

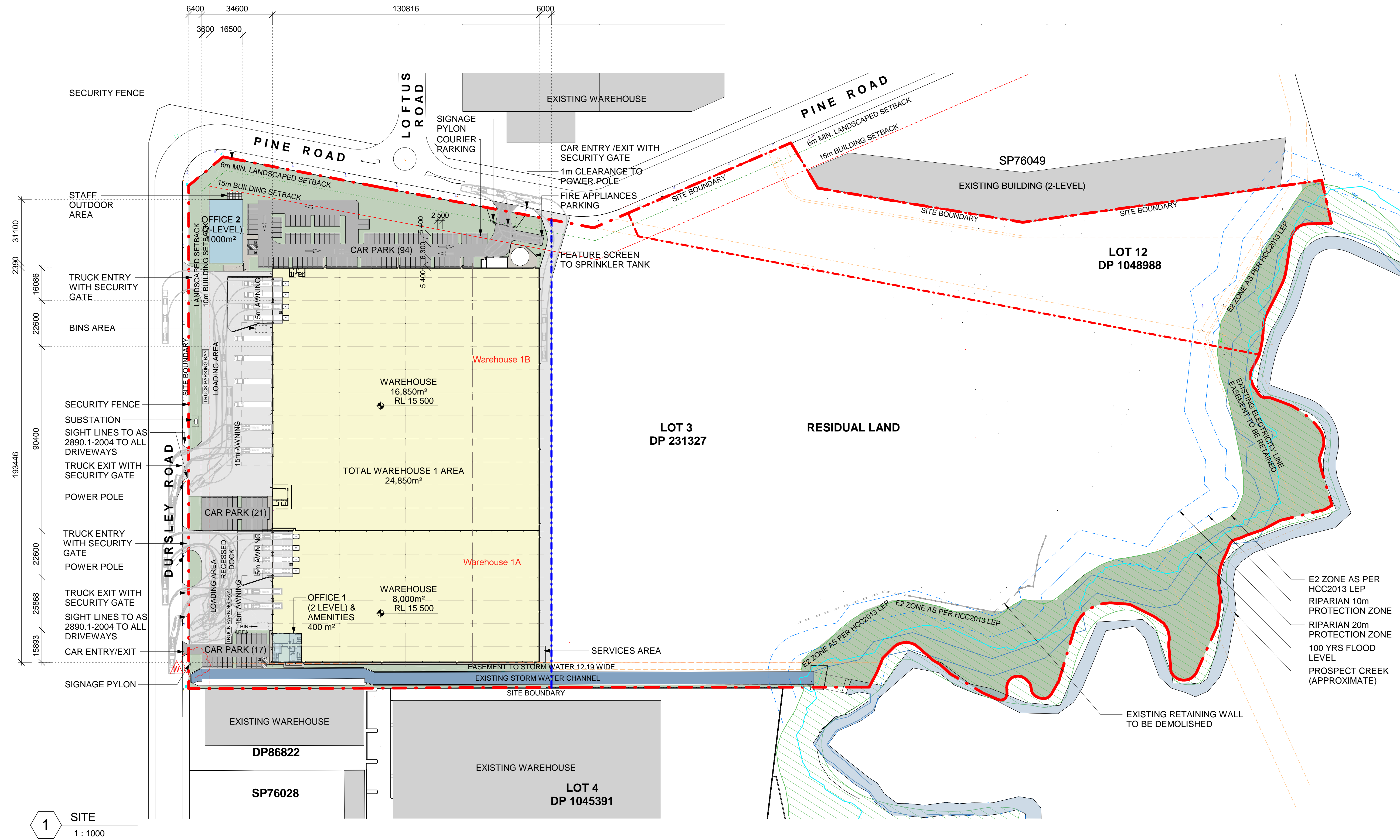
CIVIL ENGINNER: SPARKS AND PARTNERS

TOWN PLANNING: WILLOWTREE PLANNING

TRAFFIC ENGINEER: VARGA TRAFFIC PLANNING

CONTEXT PLAN





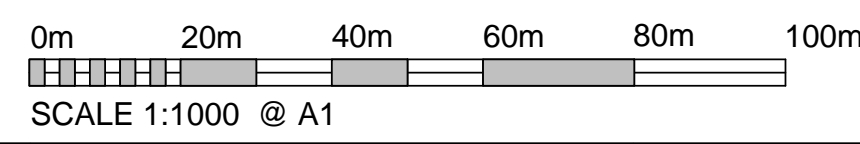
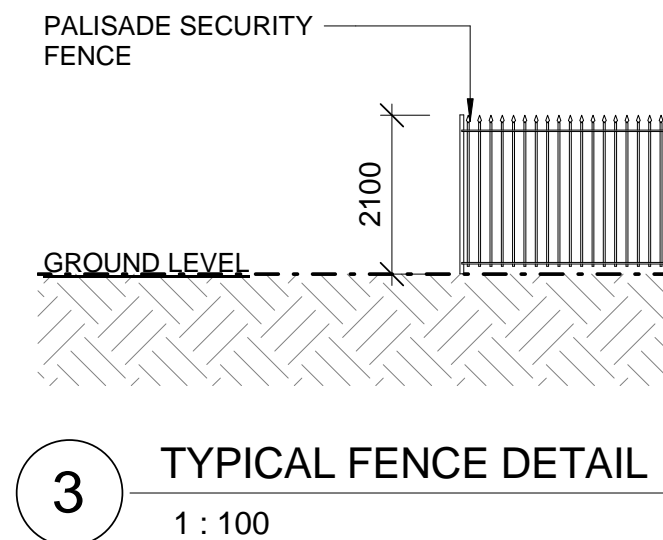
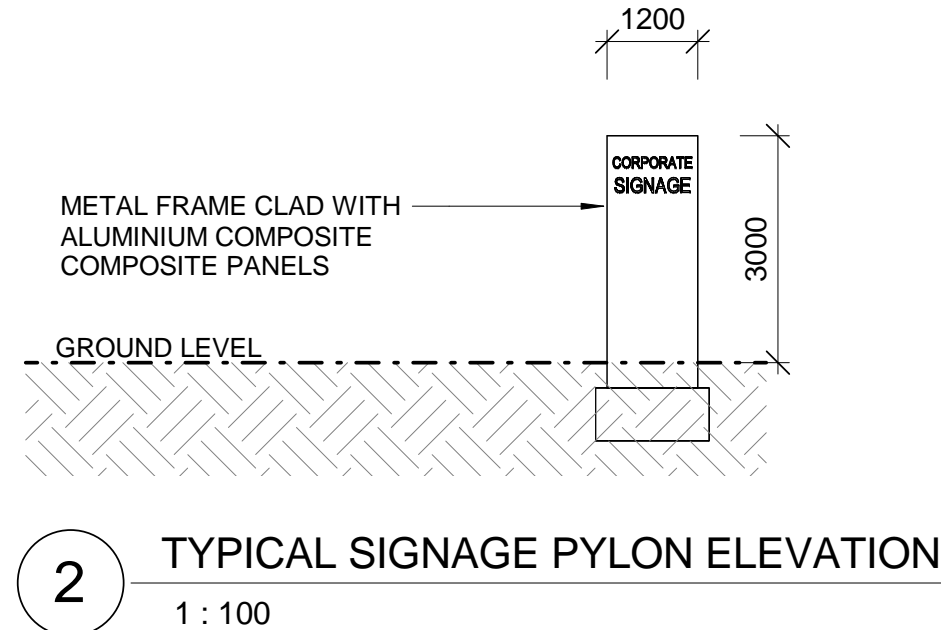
DEVELOPMENT AREA SCHEDULE		
LOT 3 DP 231327		109,300 m ²
LOT 12 DP 1048988		16,320 m ²
SITE AREA BY TITLE:		125,620 m ²
LEASE AREA		42,107 m ²
BUILDING AREAS		
WAREHOUSE		24,850 m ²
OFFICE 1 (2 LEVEL)		400 m ²
OFFICE 2 (2 LEVEL)		1000 m ²
TOTAL BUILDING AREAS		26,250 m ²
CAR PARKING REQUIRED		118
CAR PARKING PROVIDED		132
LANDSCAPING AREA (PROPOSED)		4,788 m ²
EXISTING STORM WATER CHANNEL (WITHIN APPLICATION AREA)		1,350 m ²

LEGEND	
	SITE BOUNDARY
	LEASE BOUNDARY
	BUILDING SETBACK
	MIN. 6m LANDSCAPED SETBACK
	WAREHOUSE
	OFFICE
	ENTRY / OUTDOOR AREA
	PROPOSED NEW ELECTRICITY ROUTE
	SITE LANDSCAPING
	LIGHT DUTY PAVEMENT
	HEAVY DUTY PAVEMENT
	100 YRS FLOOD LEVEL LINE (CARDNO REPORT)
	RIPARIAN 20m PROTECTION ZONE
	E2 ZONE (APPROXIMATE)
	PROSPECT CREEK

ALL LEVELS ARE INDICATIVE AND SHOULD BE READ IN CONJUNCTION WITH CIVIL ENGINEER'S DRAWINGS FOR FINAL LEVELS AND EARTHWORKS

ALL LEVELS ARE TO BE +/- 500mm

1 SITE
1 : 1000



ISSUE	DESCRIPTION	Date	AUTH
R	DRAFT AMENDED SECTION 96, ISSUED FOR REVIEW AND COORDINATION	2018/08/16	CG/SK
S	DRAFT AMENDED SECTION 96, ISSUED FOR COORDINATION	2018/09/20	FA/SK
T	DRAFT AMENDED SECTION 96, ISSUED FOR COORDINATION	2018/09/23	FA/SK
U	AMENDED ISSUE FOR SECTION 96 SUBSTATION, TRUCK ENTRY/EXIT, FIRE CONTROL ROOM, BIN AREAS AND AC AREAS ADDED, AREA SCHEDULE, TOTAL WH AREA, LOADING DOCKS, PARKING LAYOUTS, AWNINGS, OFFICE LAYOUT AND FENCE HEIGHT AMENDED, TANK & PUMP ROOM RELOCATED	2018/08/28	FA/SK
V	AMENDED TO SATISFY COUNCIL'S REQUIREMENTS	2019/01/08	CG
W	AMENDED TO SATISFY COUNCIL REQUIREMENTS	2019/01/16	CG
X	AMENDED TO SATISFY COUNCIL REQUIREMENTS	2019/01/17	BF

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SECTION 96 APPLICATION

FIFECAPITAL

Managing Consultant

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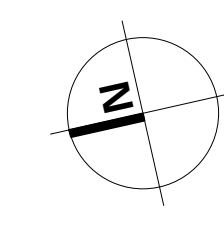


Project

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LOTS 3 & 12, 7 DURSLEY ROAD YENNORA NSW

Drawn: FA Checked: SK Print Date: 2019/01/17

North Point

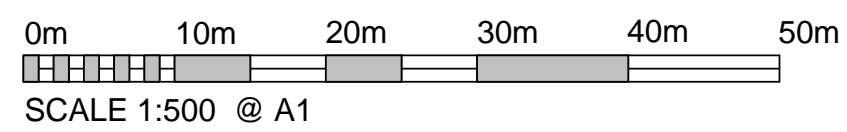


Drawing Title

SITE PLAN

Drawing Number: **115104_A_S96_0002**

Issue: **X**



Drawing Title	
WAREHOUSE 1 - GROUND FLOOR PLAN	
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Drawing Number	Issue
115104_A_S96_1000	R

Notes	ISSUE	DESCRIPTION	Date	AUTH
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	J	DRAFT AMENDED SECTION 96, ISSUED FOR INFORMATION	2018/06/03	FASK
	K	AMENDED SECTION 96 ISSUED FOR INTERNAL REVIEW	2018/06/04	FASK
	L	AMENDED SECTION 96 ISSUED FOR COORDINATION	2018/06/04	FASK
	M	DRAFT AMENDED SECTION 96, ISSUED FOR COORDINATION	2018/06/20	FASK
	N	AMENDED SECTION 96, ISSUED FOR COORDINATION	2018/06/20	FASK
	O	AMENDED SECTION 96, ISSUED FOR COORDINATION	2018/06/20	FASK
	P	SUBSTITUTION TRUCK ENTRY/EXIT, FIRE CONTROL, RUM BIN AREAS AND ACRES AREAS, SCHEDULE 10, SCHEDULE 11, SCHEDULE 12, SCHEDULE 13, SCHEDULE 14, SCHEDULE 15, SCHEDULE 16, SCHEDULE 17, SCHEDULE 18, SCHEDULE 19, SCHEDULE 20, SCHEDULE 21, SCHEDULE 22, SCHEDULE 23, SCHEDULE 24, SCHEDULE 25, SCHEDULE 26, SCHEDULE 27, SCHEDULE 28, SCHEDULE 29, SCHEDULE 30, SCHEDULE 31, SCHEDULE 32, SCHEDULE 33, SCHEDULE 34, SCHEDULE 35, SCHEDULE 36, SCHEDULE 37, SCHEDULE 38, SCHEDULE 39, SCHEDULE 40, SCHEDULE 41, SCHEDULE 42, SCHEDULE 43, SCHEDULE 44, SCHEDULE 45, SCHEDULE 46, SCHEDULE 47, SCHEDULE 48, SCHEDULE 49, SCHEDULE 50, SCHEDULE 51, SCHEDULE 52, SCHEDULE 53, SCHEDULE 54, SCHEDULE 55, SCHEDULE 56, SCHEDULE 57, SCHEDULE 58, SCHEDULE 59, SCHEDULE 60, SCHEDULE 61, SCHEDULE 62, SCHEDULE 63, SCHEDULE 64, SCHEDULE 65, SCHEDULE 66, SCHEDULE 67, SCHEDULE 68, SCHEDULE 69, SCHEDULE 70, SCHEDULE 71, SCHEDULE 72, SCHEDULE 73, SCHEDULE 74, SCHEDULE 75, SCHEDULE 76, SCHEDULE 77, SCHEDULE 78, SCHEDULE 79, SCHEDULE 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	P	AMENDED TO SATSFP COUNCILS REQUIREMENTS	2019/01/08	GG
	N	AMENDED TO SATSFP COUNCILS REQUIREMENTS	2019/01/16	GG
K	AMENDED TO SATSFP COUNCILS REQUIREMENTS	2019/01/17	GG	

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Client

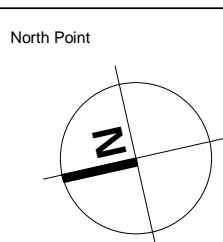
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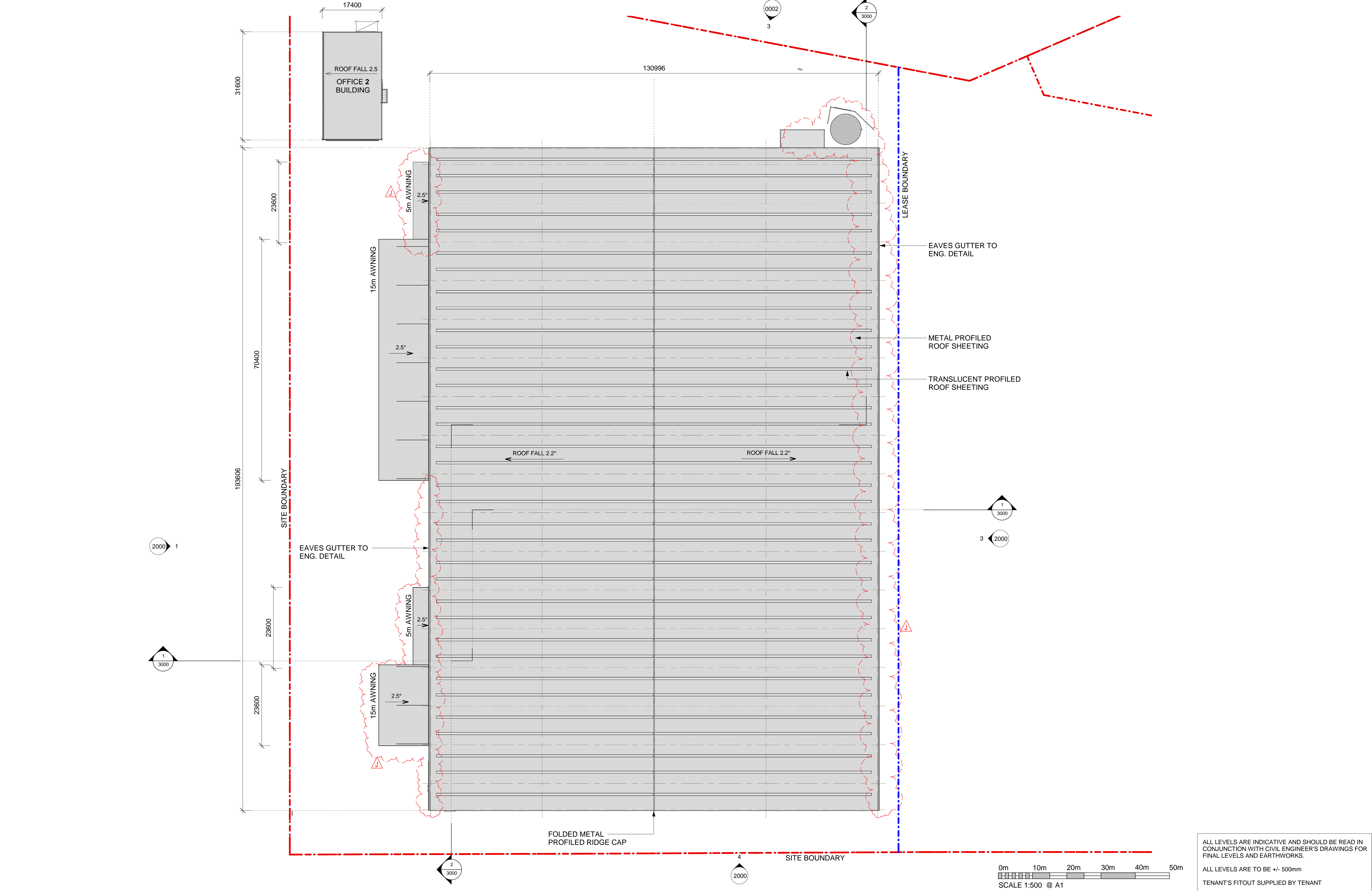
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Project		
PROPOSED INDUSTRIAL DEVELOPMENT		
LOTS 3 & 12, 7 DURSLEY ROAD YENNORA NSW		
Drawn	Checked	Print Date
FA	SK	2019/01/17





Notes

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Contractor to verify all dimensions on site before commencing work.

Report all discrepancies to project manager prior to construction.

Figured dimensions to be taken in preference to scaled drawings.

All work is to conform to relevant Australian Standards and other Codes as applicable, together with other Authorities' requirements and regulations.

ISSUE	DESCRIPTION	Date	AUTH
A	PRELIMINARY DRAWING SET TO PIPE CAPITAL	2017/12/08	AR, BF
B	ISSUE FOR S96	2017/12/13	AR
C	AMENDED ISSUE FOR S96	2018/02/14	AR
D	AMENDED SECTION 96	2018/07/30	FA/BF
E	DRAFT AMENDED SECTION 96, ISSUED FOR INFORMATION	2018/08/01	FA/SK
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SECTION 96 APPLICATION

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Project

PROPOSED INDUSTRIAL DEVELOPMENT
LOTS 3 & 12, 7 DURSLEY ROAD YENNORA NSW

Drawn

FA

Checked

SK

Print Date

2018/08/28

North Point

Drawing Title

WAREHOUSE 1 - ROOF PLAN

Drawing Number

115104_A_S96_1001

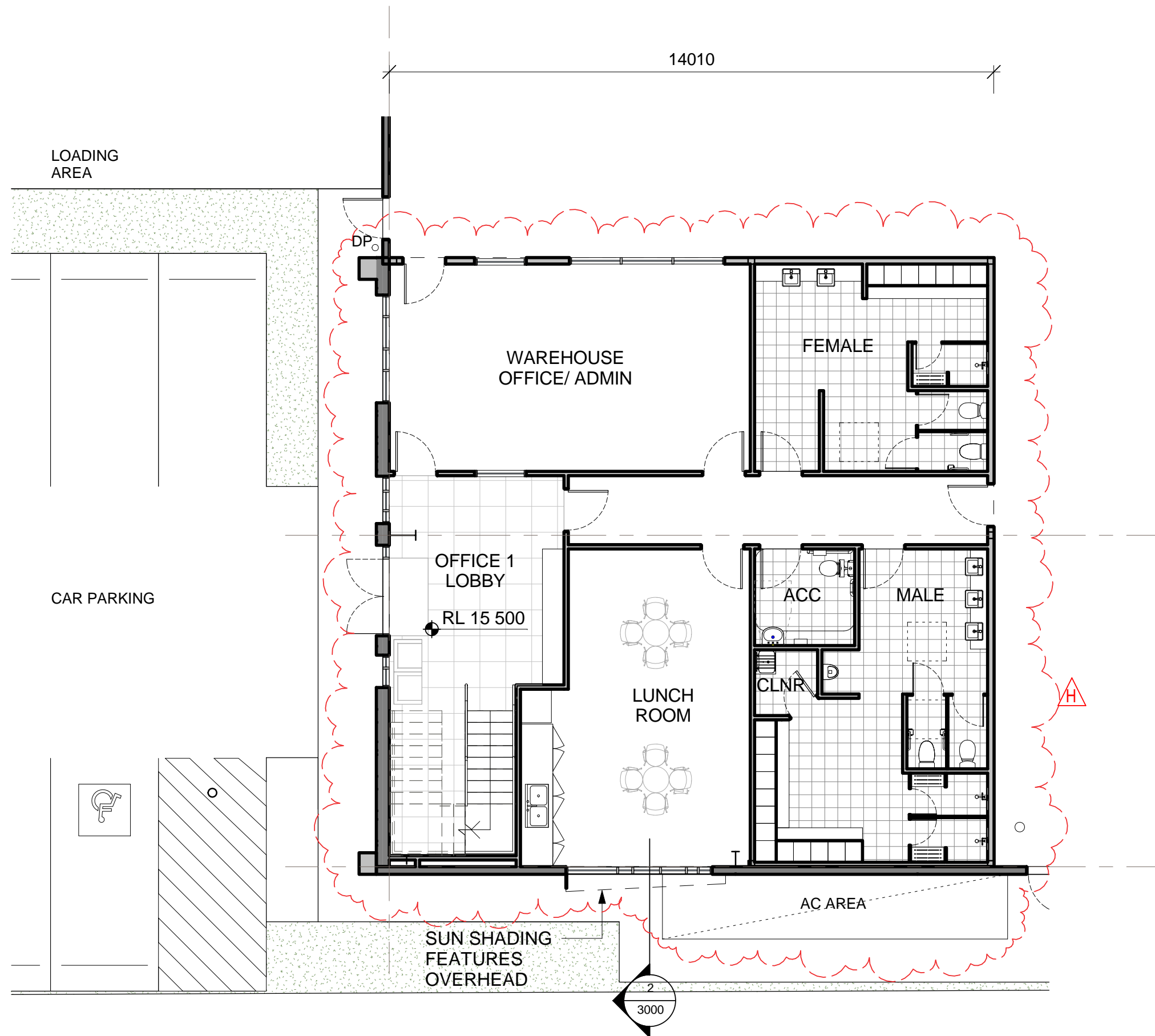
Issue

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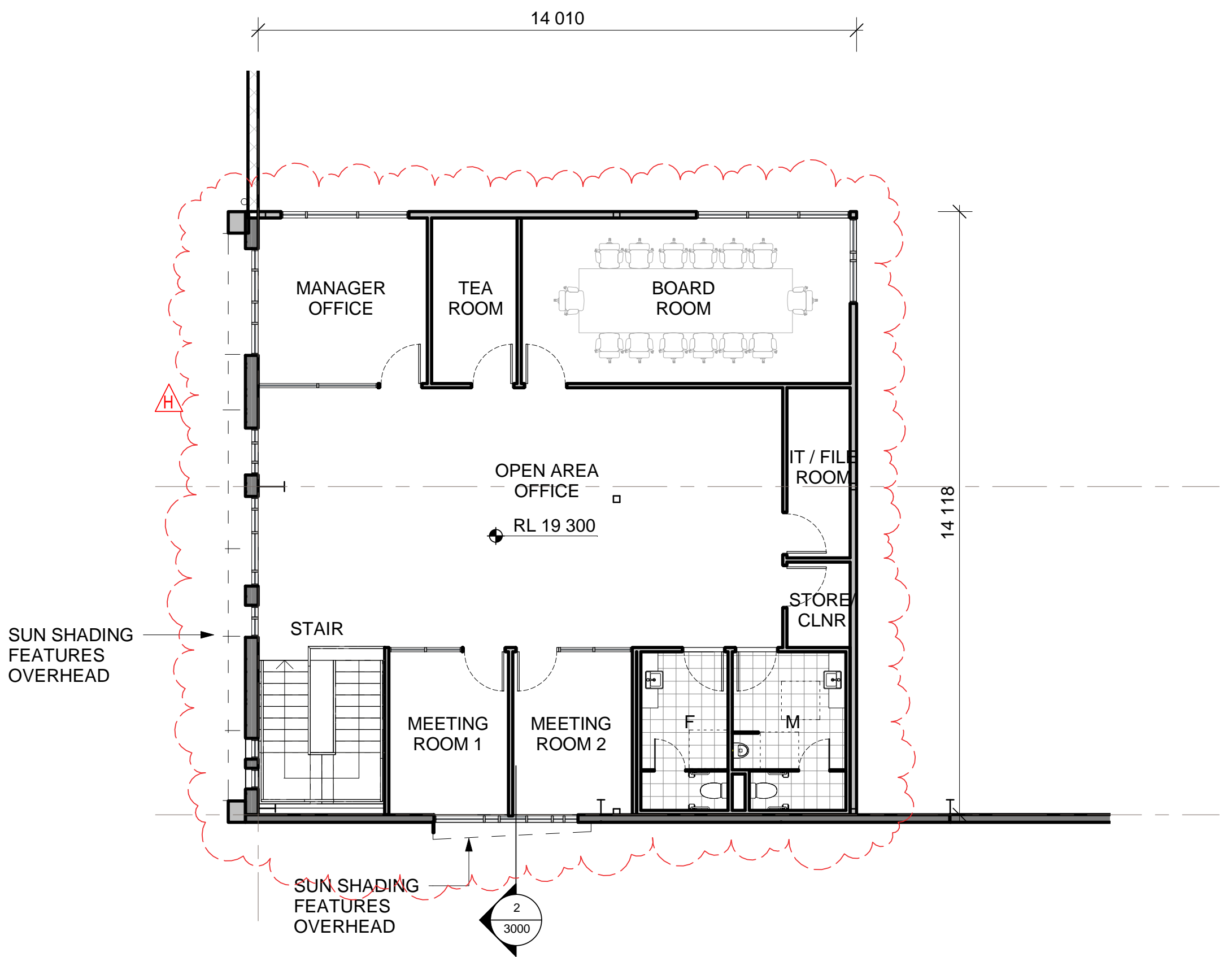
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ALL LEVELS ARE TO BE +/- 500mm

TENANT'S FITOUT SUPPLIED BY TENANT



2 OFFICE 1 - GROUND FLOOR PLAN
1 : 100



1 OFFICE 1 - FIRST FLOOR PLAN
1 : 100

Notes			
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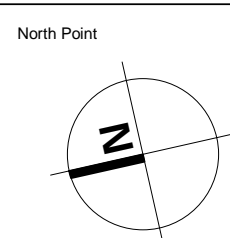
SECTION 96 APPLICATION

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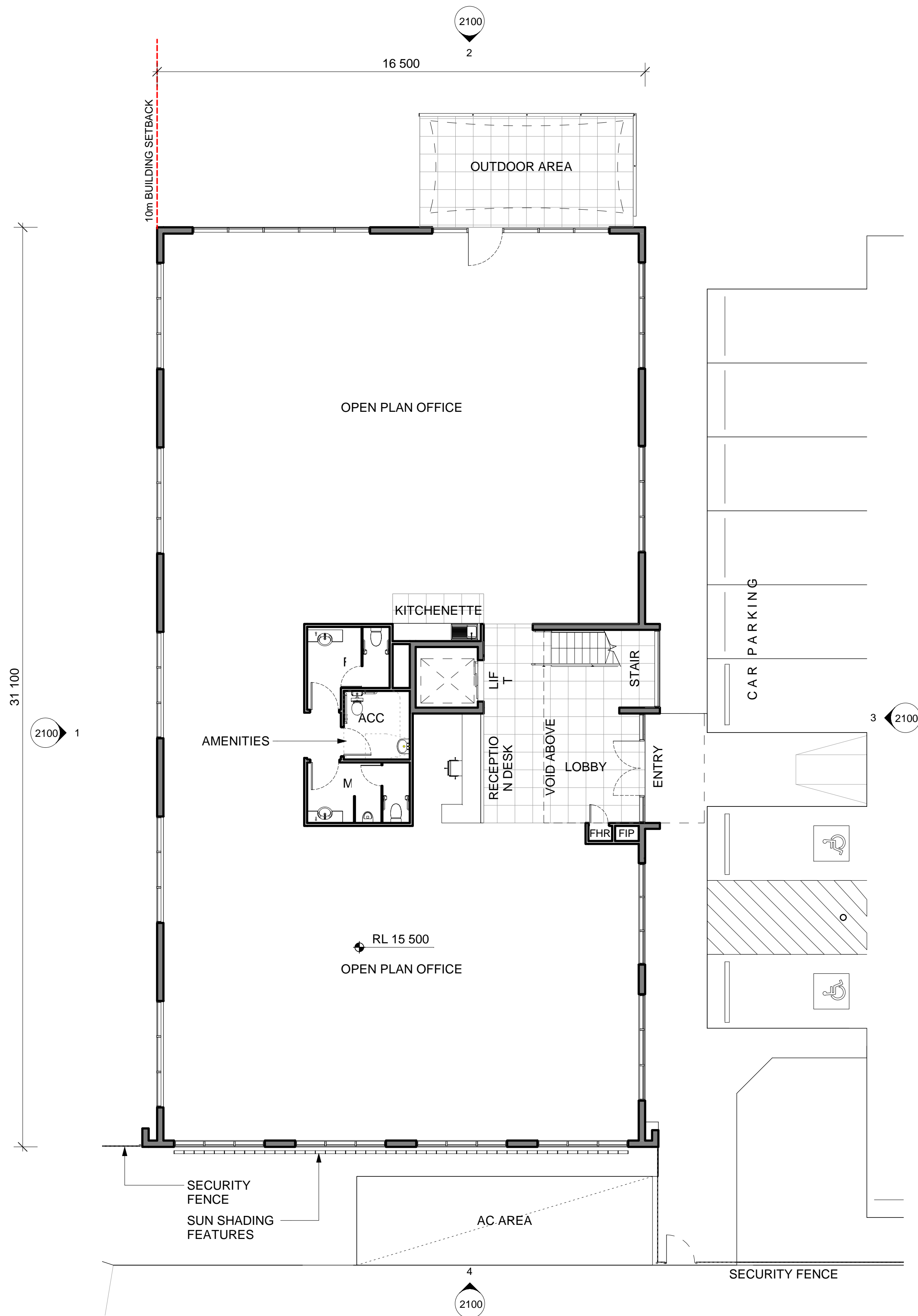
Project
PROPOSED INDUSTRIAL DEVELOPMENT
LOTS 3 & 12, 7 DURSLEY ROAD YENNORA NSW
Drawn: FA Checked: SK Print Date: 2018/08/28



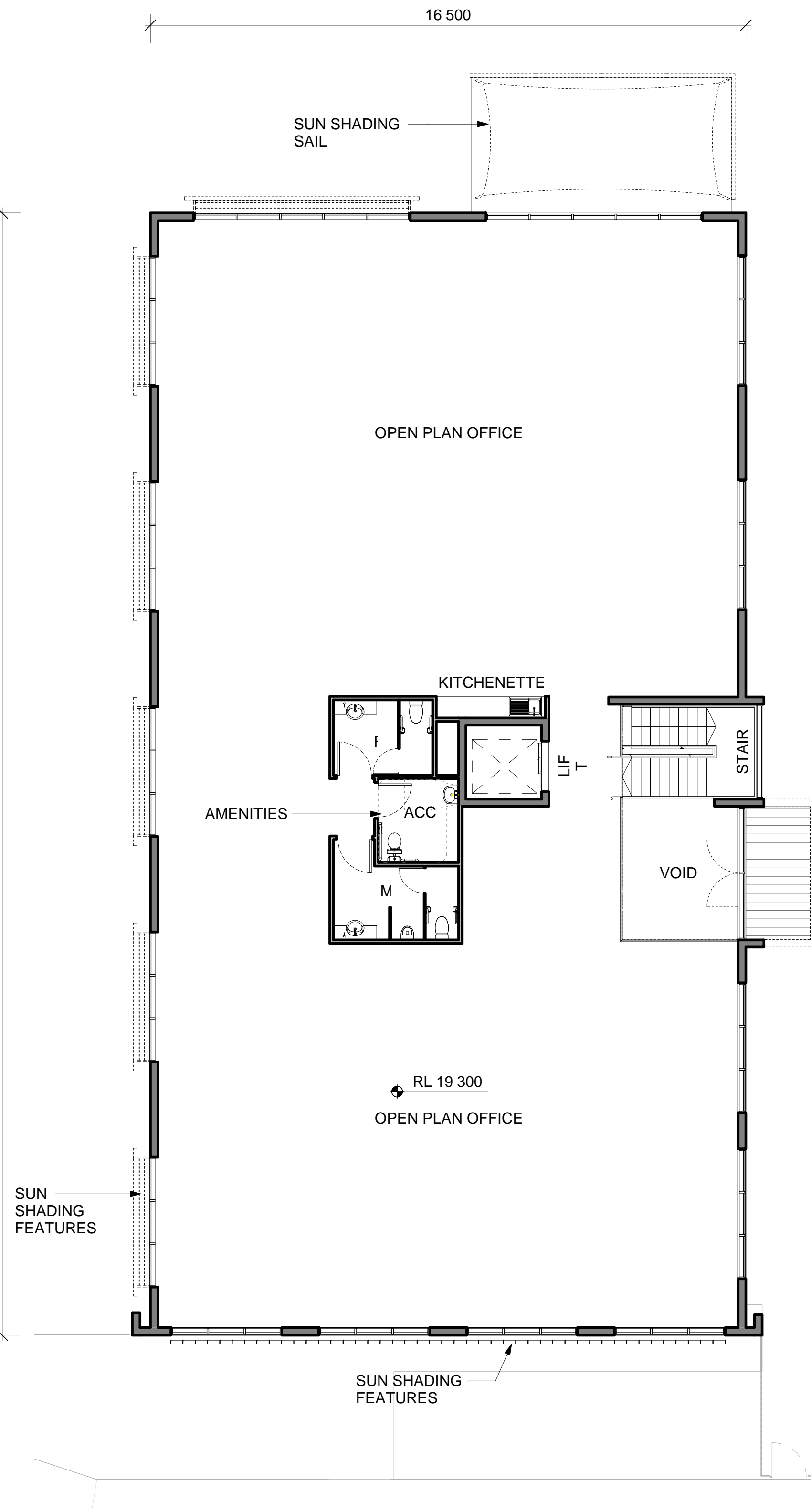
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TENANT'S FITOUT SUPPLIED BY TENANT

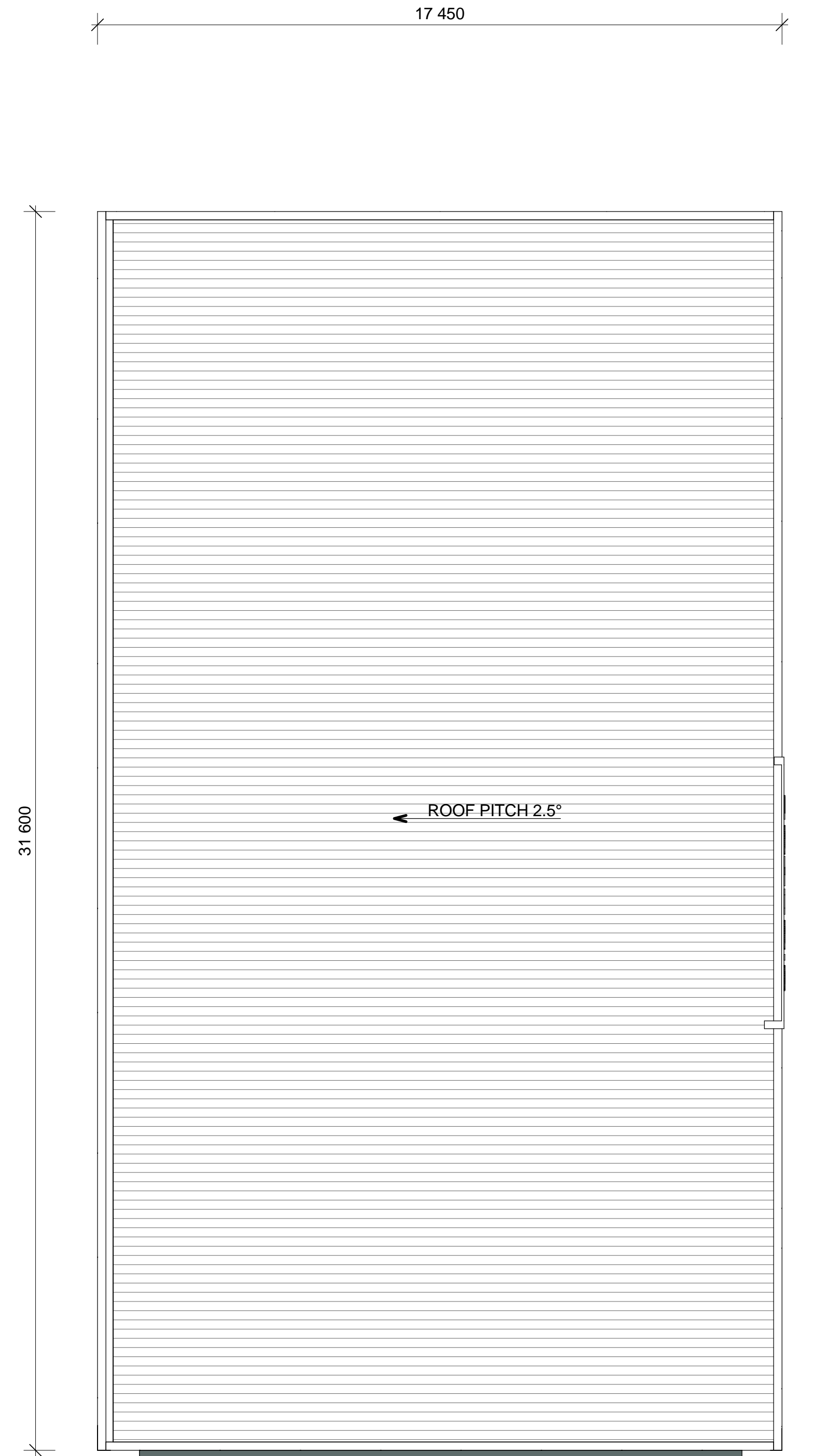
Drawing Title
OFFICE 1 PLANS
Drawing Number
115104_A_S96_1100
Issue
H



1 OFFICE 2 - GROUND FLOOR PLAN



2 OFFICE 2 - FIRST FLOOR PLAN



3 OFFICE 2 - ROOF PLAN

Notes			
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ISSUE	DESCRIPTION	Date	AUTH
A	PRELIMINARY DRAWING SET TO FIFE CAPITAL	2017/12/08	AR, BF
B	ISSUE FOR SK	2017/12/13	AR
C	INTERNAL BOUNDARIES REMOVED ON CLIENTS REQUEST	2018/02/15	AR
D	AMENDED SECTION 96	2018/07/30	FA/BF
E	DRAFT AMENDED SECTION 96 ISSUED FOR INFORMATION	2018/08/03	FA/SK
F	AMENDED SECTION 96 ISSUED FOR INTERNAL REVIEW	2018/08/14	FA/SK
G	DRAFT AMENDED SECTION 96 ISSUED FOR COORDINATION	2018/08/20	FA/SK
H	AMENDED ISSUE FOR SECTION 96 SUBSTATION, TRUCK ENTRY/EXIT, FIRE CONTROL ROOM, BIN AREAS AND AC AREAS ADDED. AREA SCHEDULE, TOTAL VIN AREA, LOADING DOCKS, PARKING LAYOUTS, AWNINGS, OFFICE 1 LAYOUT AND FENCE HEIGHT AMENDED. TANK & PUMP ROOM RELOCATED	2018/08/28	FA/SK

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Fax: 61 02 9954 4946 Web: www.reidcampbell.com

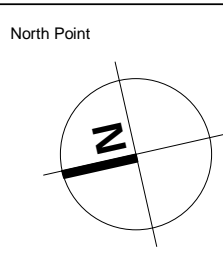
SECTION 96 APPLICATION

Client
FIFE CAPITAL

Managing Consultant
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Tubb & Associates Pty Ltd
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E. david@tubb.com.au



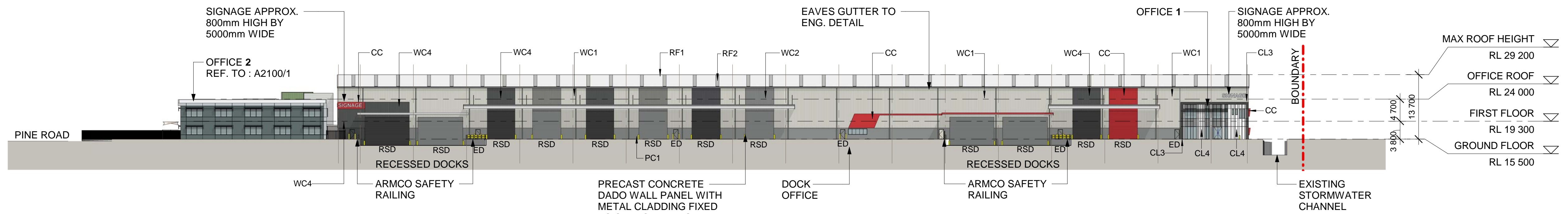
Project
PROPOSED INDUSTRIAL DEVELOPMENT
LOTS 3 & 12, 7 DURSLEY ROAD YENNORA NSW
Drawn: FA
Checked: SK
Print Date: 2018/08/28



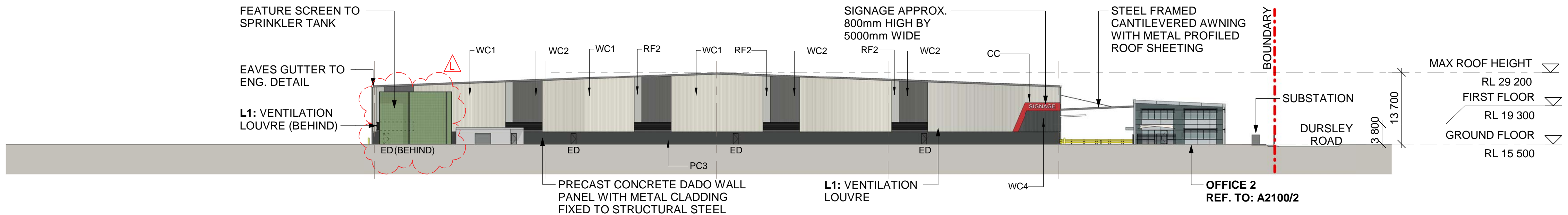
Drawing Title
OFFICE 2 - FLOOR PLANS
Drawing Number
115104_A_S96_1110
Issue
H

ALL LEVELS ARE INDICATIVE AND SHOULD BE READ IN CONJUNCTION WITH CIVIL ENGINEER'S DRAWINGS FOR FINAL LEVELS AND EARTHWORKS.
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TENANT'S FITOUT SUPPLIED BY TENANT

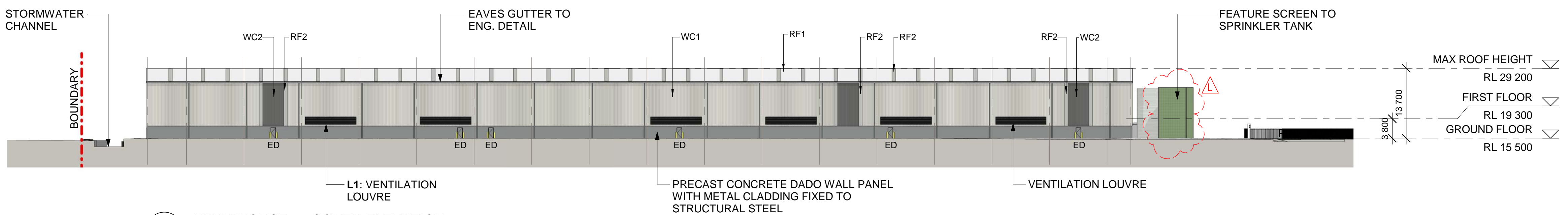
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SCALE 1:100 @ A1



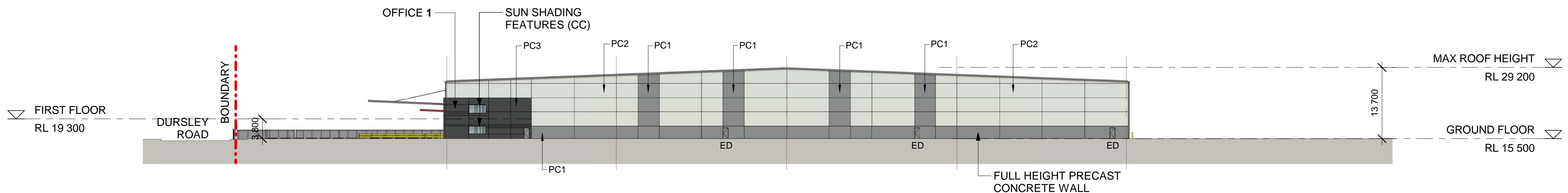
1 WAREHOUSE 1 - NORTH ELEVATION
1 : 500



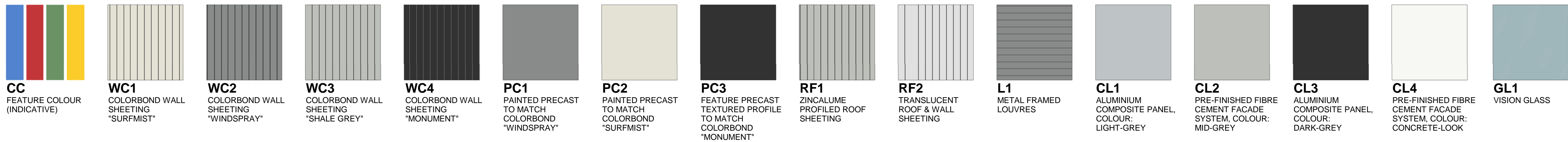
2 WAREHOUSE 1 - EAST ELEVATION
1 : 500



3 WAREHOUSE 1 - SOUTH ELEVATION
1 : 500



4 WAREHOUSE 1 - WEST ELEVATION
1 : 500



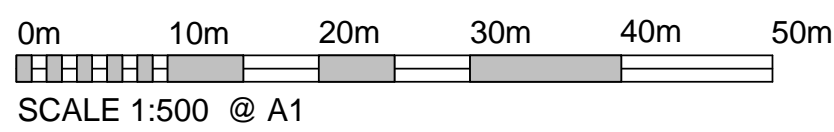
LEGEND

ED EGRESS DOOR
RSD ROLLER SHUTTER DOOR

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ISSUE	DESCRIPTION	Date	AUTH
C	INTERNAL BOUNDARIES REMOVED ON CLIENTS REQUEST	2018/02/15	AR
D	AMENDED TO SATISFY COUNCILS REQUIREMENTS (FROM LETTER 24.05.18)	2018/05/20	AR
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F	DRAFT AMENDED SECTION 96, ISSUED FOR INFORMATION	2018/08/03	FA/SK
G	AMENDED SECTION 96, ISSUED FOR INTERNAL REVIEW	2018/08/14	FA/SK
H	DRAFT AMENDED SECTION 96, ISSUED FOR REVIEW AND COORDINATION	2018/08/16	CG/SK
J	DRAFT AMENDED SECTION 96, ISSUED FOR COORDINATION	2018/08/20	FA/SK
K	AMENDED ISSUE FOR SECTION 96 SUBSTATION, TRUCK ENTRY/EXIT, FIRE CONTROL ROOM, BIN AREAS AND AC AREAS ADDED, AREA SCHEDULE, TOTAL VIN AREA, LOADING DOCKS, PARKING LAYOUTS, AWNINGS, OFFICE 1 LAYOUT AND FENCE HEIGHT AMENDED, TANK & PUMP ROOM RELOCATED	2018/08/28	FA/SK
L	AMENDED TO SATISFY COUNCILS REQUIREMENTS	2019/01/10	CG

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SECTION 96 APPLICATION

Client
FIFE CAPITAL

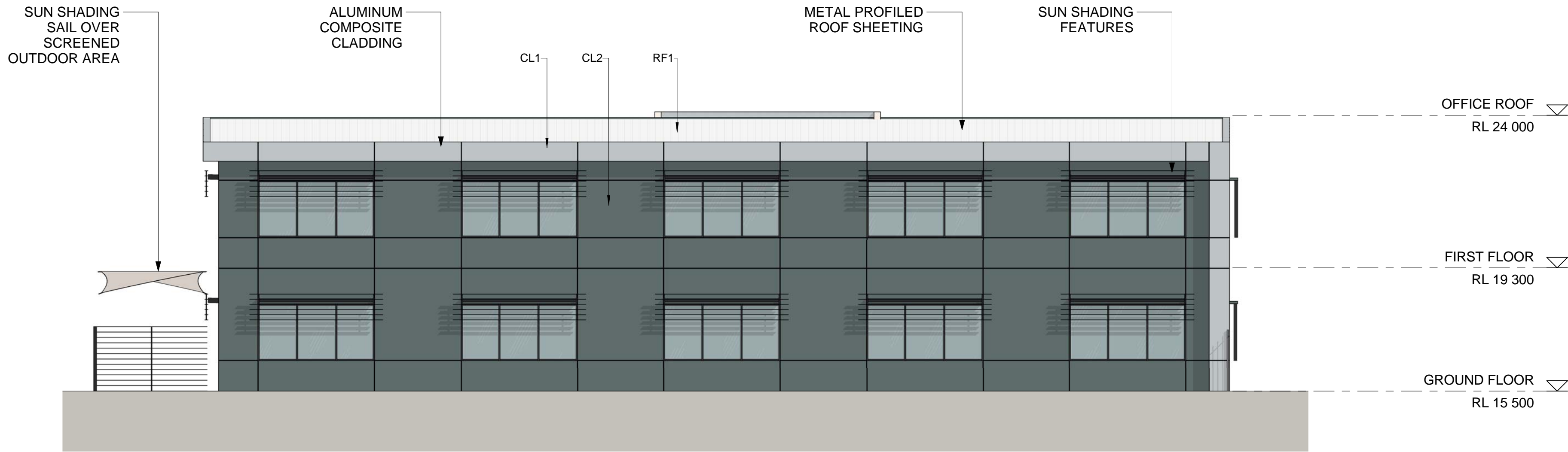
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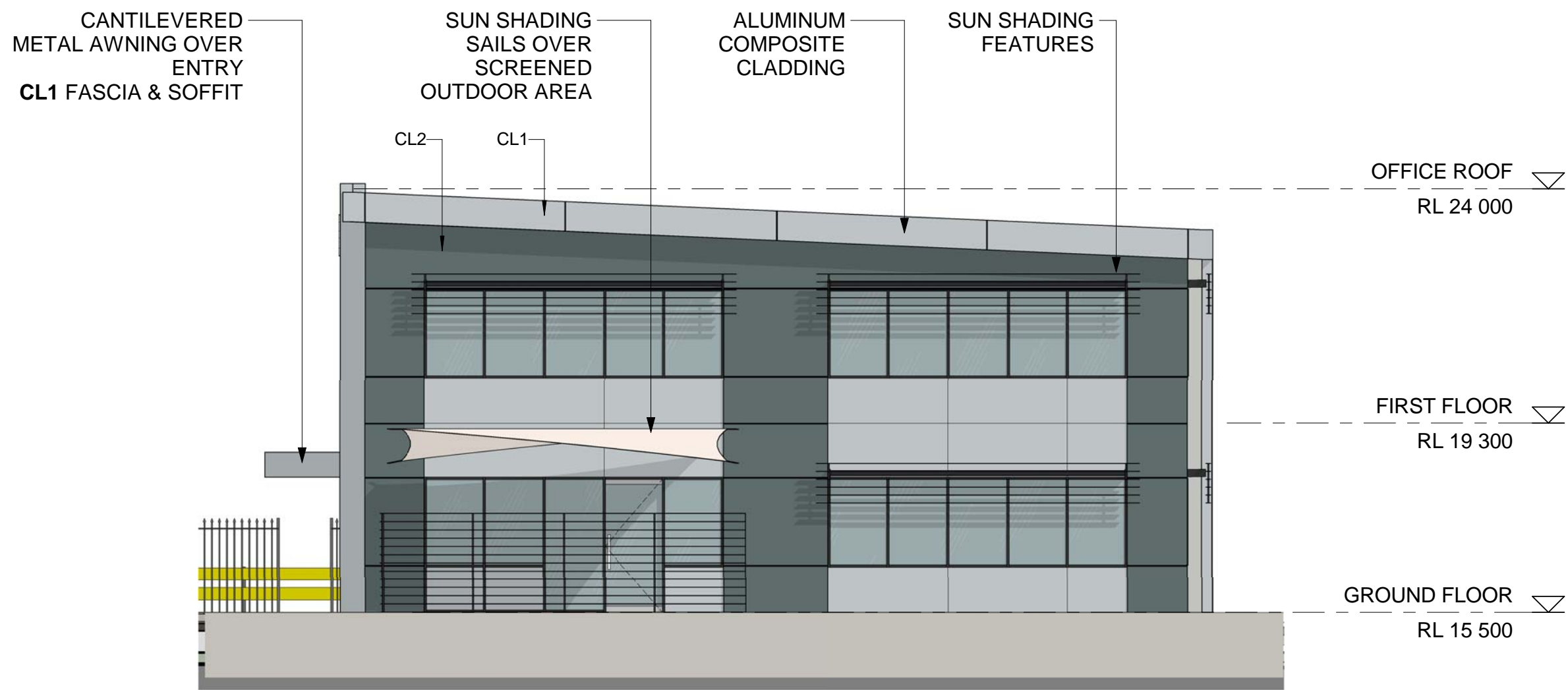
Project
PROPOSED INDUSTRIAL DEVELOPMENT
LOTS 3 & 12, 7 DURSLEY ROAD YENNORA NSW
Drawn: FA
Checked: SK
Print Date: 2019/01/10

North Point
N/A

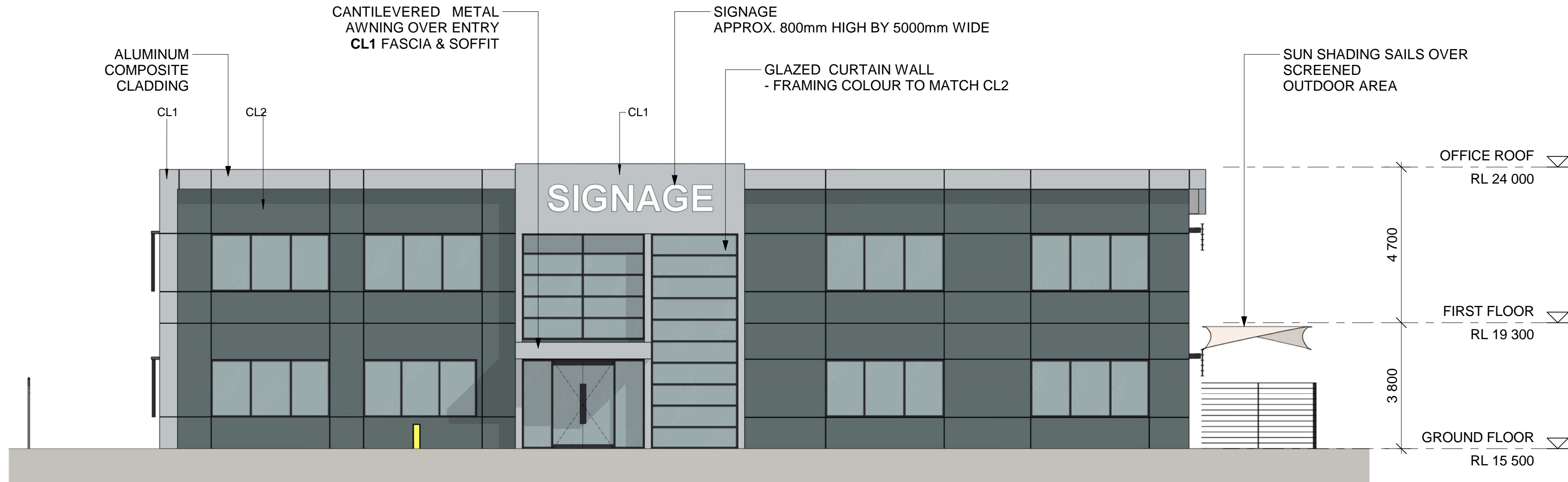
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WAREHOUSE 1 - ELEVATIONS AND EXTERNAL FINISHES
Drawing Number
115104_A_S96_2000
Issue
L



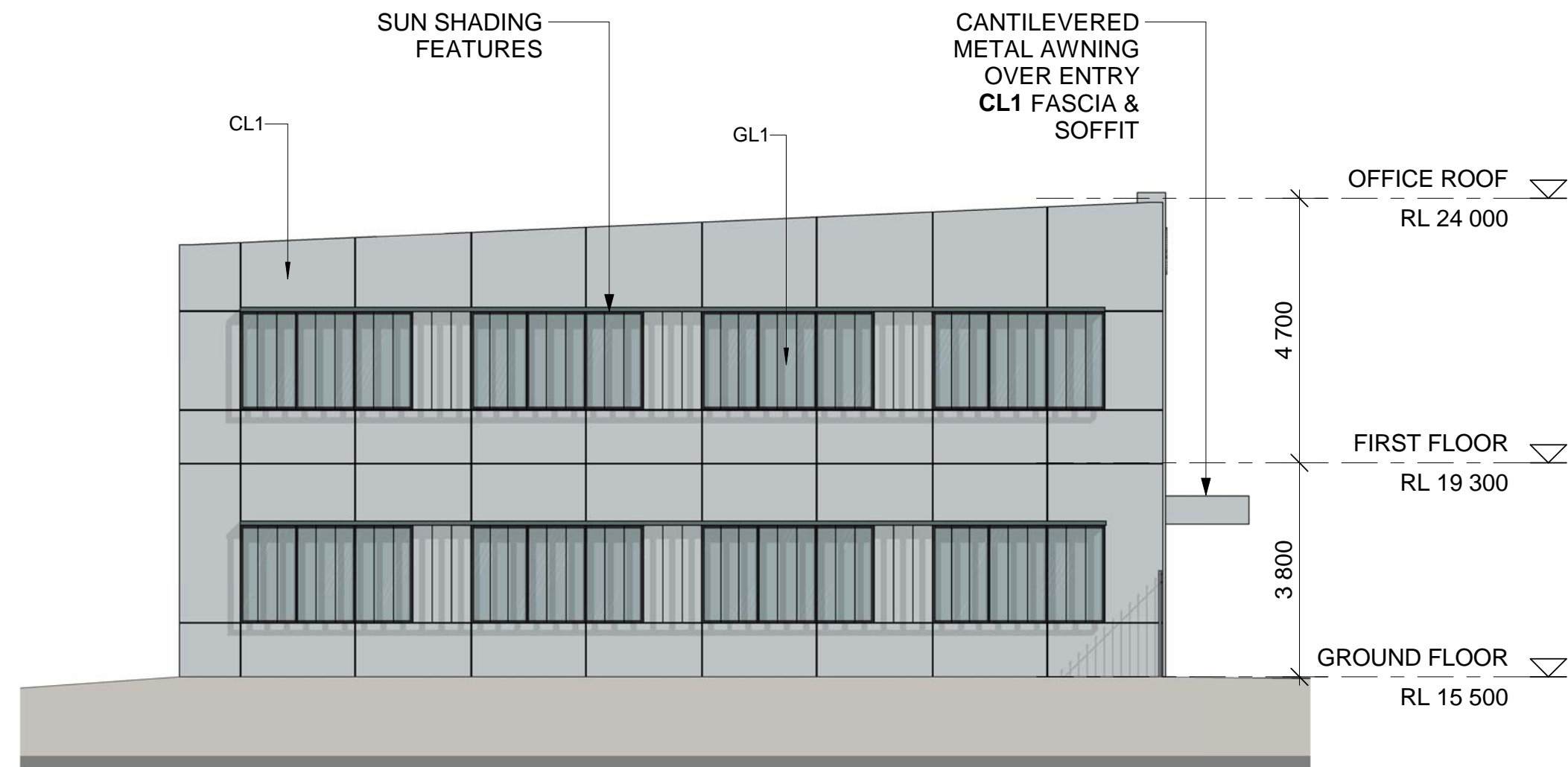
1 OFFICE - NORTH ELEVATION



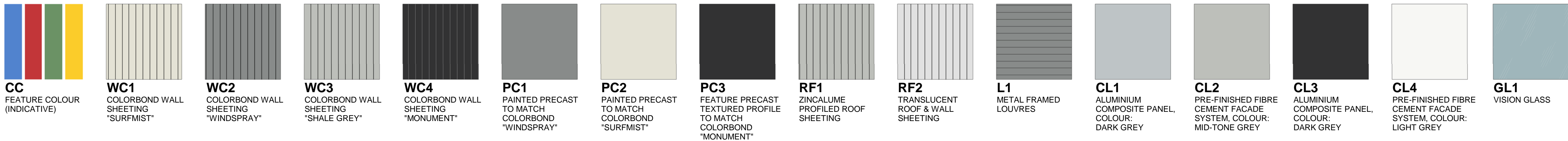
2 OFFICE - EAST ELEVATION



3 OFFICE - SOUTH ELEVATION



4 OFFICE - WEST ELEVATION



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B	ISSUE FOR S&B	2017/12/13	AR
C	INTERNAL BOUNDARIES REMOVED ON CLIENTS REQUEST	2018/02/15	AR
D	AMENDED TO SATISFY COUNCILS REQUIREMENTS (FROM LETTER 24.05.18)	2018/05/29	AR
E	AMENDED SECTION 96	2018/07/20	FA/BJ
F	DRAFT AMENDED SECTION 96, ISSUED FOR INFORMATION	2018/08/03	FA/SK
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SECTION 96 APPLICATION

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Project
PROPOSED INDUSTRIAL DEVELOPMENT
LOTS 3 & 12, 7 DURSLEY ROAD YENNORA NSW
Drawn: FA Checked: SK Print Date: 2018/08/28

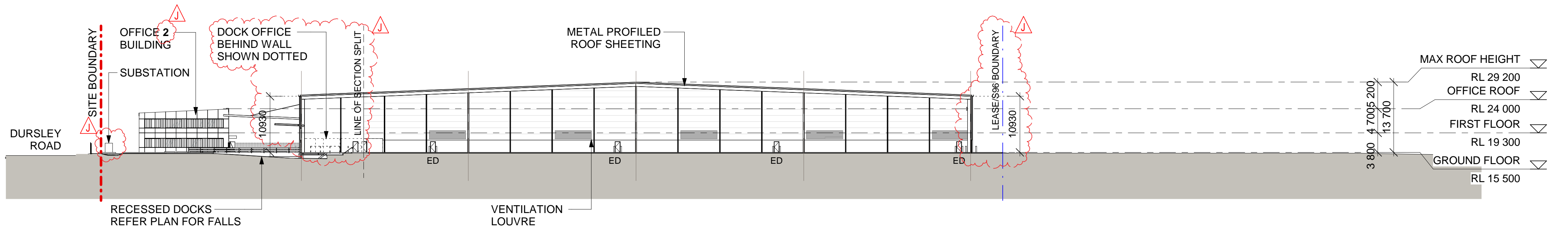
North Point

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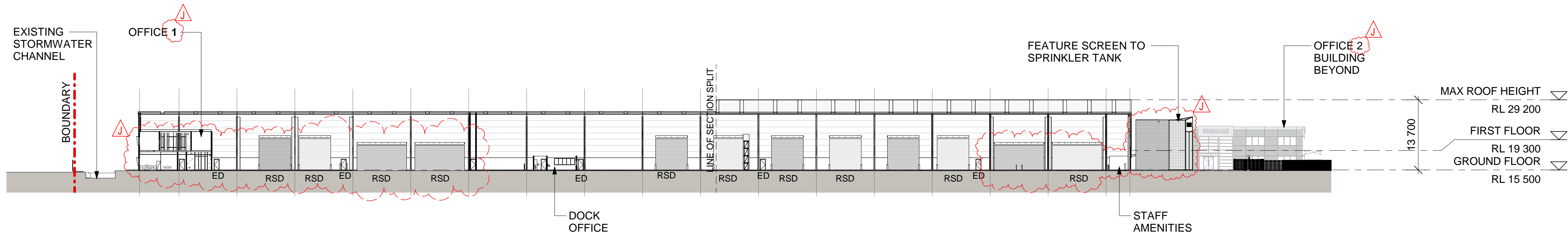
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TENANT'S FITOUT SUPPLIED BY TENANT

Drawing Title
OFFICE 2 - ELEVATIONS

Drawing Number
115104_A_S96_2100
Issue
J



1 SECTION 1



2 SECTION 2

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ISSUE	DESCRIPTION	Date	AUTH
A	PRELIMINARY DRAWING SET TO FIFE CAPITAL	2017/12/08	AR, BF
B	ISSUE FOR S96	2017/12/13	AR
C	INTERNAL BOUNDARIES REMOVED ON CLIENTS REQUEST	2018/02/15	AR
D	AMENDED SECTION 96	2018/07/30	FA/BF
E	DRAFT AMENDED SECTION 96, ISSUED FOR INFORMATION	2018/08/03	FA/SK
F	AMENDED SECTION 96 ISSUED FOR INTERNAL REVIEW	2018/08/14	FA/SK
G	DRAFT AMENDED SECTION 96, ISSUED FOR REVIEW AND COORDINATION	2018/08/16	CG/SK
H	DRAFT AMENDED SECTION 96, ISSUED FOR COORDINATION	2018/08/20	FA/SK
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Project

PROPOSED INDUSTRIAL DEVELOPMENT

LOTS 3 & 12, 7 DURSLEY ROAD YENNORA NSW

Drawn	Checked	Print Date
FA	SK	2018/08/28

North Point

Drawing Title

SECTIONS

Drawing Number	Issue
115104_A_S96_3000	J

LEGEND

ED	EGRESS DOOR
RSD	ROLLER SHUTTER DOOR

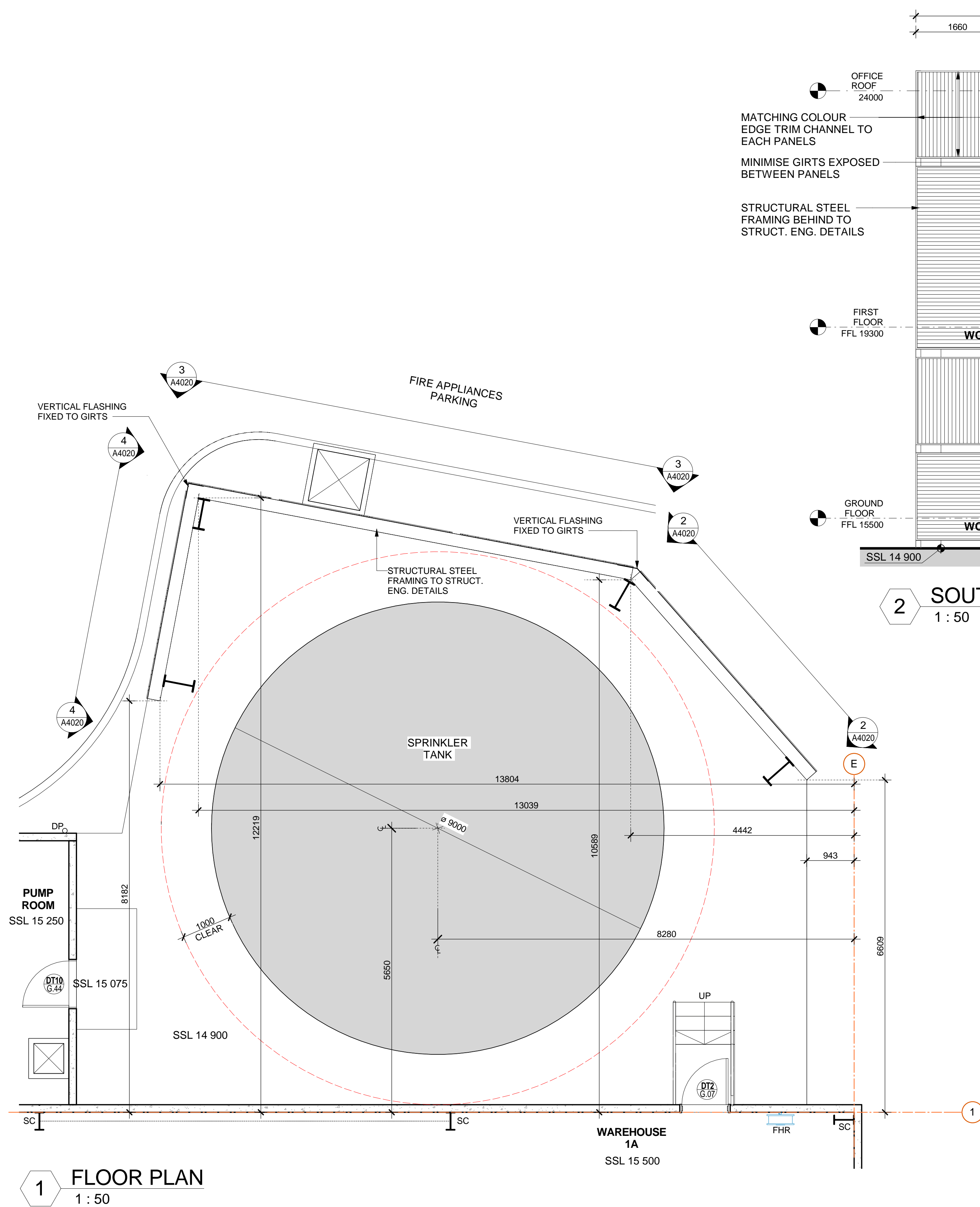
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0m 10m 20m 30m 40m 50m

SCALE 1:500 @ A1



1 FLOOR PLAN
1 : 50

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NSW Registered Architect Song Kitcharoyothin, 7895

Issue	Description	Date
A	GENERAL UPDATE	12/12/2018
B	SPRINKLER TANK SCREEN UPDATE	08/01/2019

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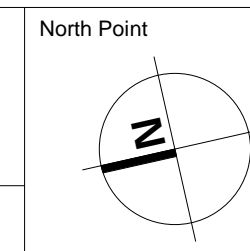
CONSTRUCTION DOCUMENTATION
Not For Construction

Client
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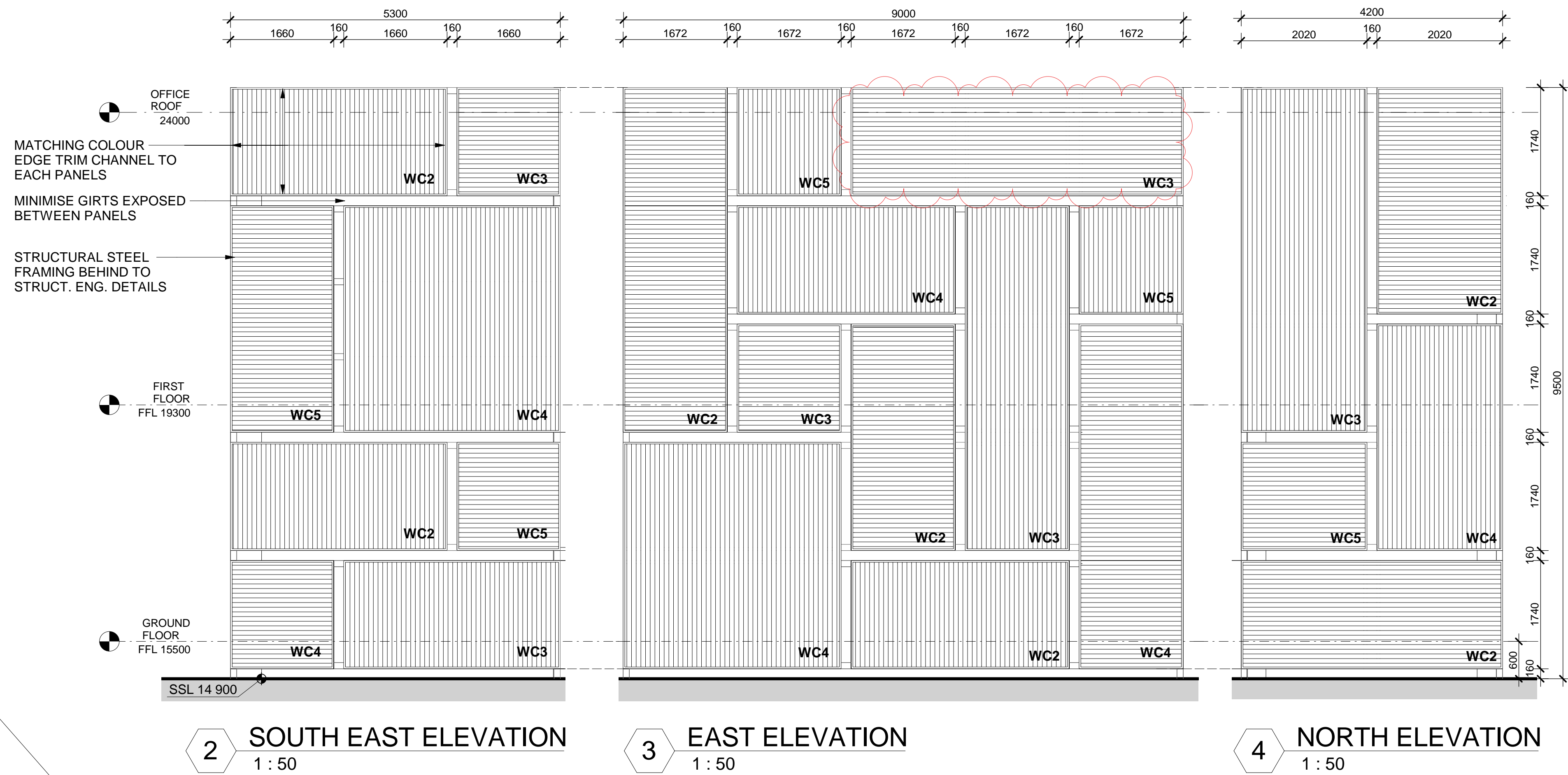
Project
PROPOSED INDUSTRIAL DEVELOPMENT
(WAREHOUSE 1) LOTS 3 & 12, 7 DURSLEY ROAD YENNORA NSW
Drawn Checked Print Date
SL CG 8/01/2019 10:54:40 AM



Drawing Title
SPRINKLER TANK SCREEN

Drawing Number
118112_A4020

Issue
B



2 SOUTH EAST ELEVATION
1 : 50

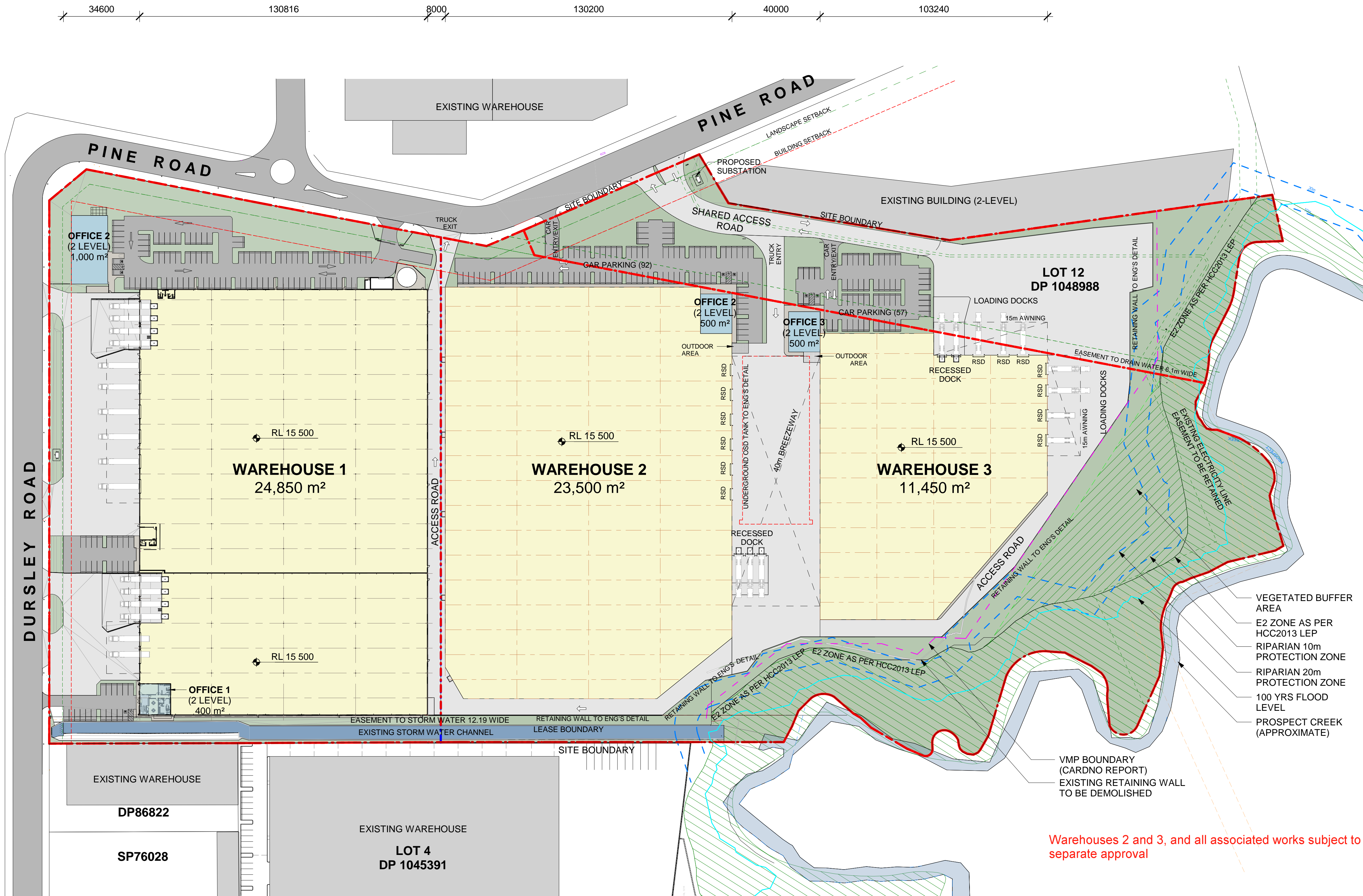
3 EAST ELEVATION
1 : 50

4 NORTH ELEVATION
1 : 50

REVISION NOTES:
1. SIGNAGE DELETED AS PER COUNCIL COMMENTS 07.01.2019.

- GENERAL NOTES:**
- THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL CONSULTANT'S DOCUMENTATION
 - ALL WORKS SHALL COMPLY WITH THE REQUIREMENTS OF THE NCC (BCA), AUSTRALIAN STANDARDS, CURRENT CODES AND LOCAL AUTHORITIES REGULATIONS
 - PROVIDE ALL CONCRETE AND STRUCTURAL STEEL IN ACCORDANCE WITH STRUCTURAL ENGINEER'S DOCUMENTATION
 - PROVIDE ALL DRAINAGE IN ACCORDANCE WITH HYDRAULIC ENGINEER'S DOCUMENTATION
 - IT IS THE SUBCONTRACTOR'S RESPONSIBILITY TO CO-ORDINATE CONNECTIONS, LOCATIONS AND DETAILS BETWEEN STRUCTURAL STEEL, PRECAST PANELS AND STEEL FORMED SLAB CONTRACTORS.
 - REFER SECTION J REPORT FOR INSULATION AT FLOOR, WALLS CEILING & ROOF

0m 1m 2m 3m 4m 5m
VISUAL SCALE 1:50 @ A1



LOT 3	DP 231327	109,300 m²
LOT 12	DP 1048988	16,320 m²
SITE AREA BY TITLE:		125,620 m²
WAREHOUSE 1 LEASE AREA		42,107 m²
WAREHOUSE 2 & 3 LEASE AREA		83,513 m²

WAREHOUSE 1 DEVELOPMENT APPLICATION AREA SCHEDULE

BUILDING AREAS	
WAREHOUSE 1	24,850 m²
OFFICE 1 (2 LEVEL)	400 m²
OFFICE 2 (2 LEVEL)	1,000 m²
TOTAL BUILDING AREAS	
	26,250 m²
CAR PARKING REQUIRED	118
CAR PARKING PROVIDED	129

PROPOSED LANDSCAPING AREA	4,754 m²
EXISTING STORM WATER CHANNEL (WITHIN APPLICATION AREA)	1,350 m²

WAREHOUSE 2 DEVELOPMENT APPLICATION AREA SCHEDULE

BUILDING AREAS	
WAREHOUSE 2	23,500 m²
OFFICE 2 (2 LEVEL)	500 m²
TOTAL BUILDING AREAS	24,000 m²
CAR PARKING REQUIRED	92
CAR PARKING PROVIDED	92

WAREHOUSE 3 DEVELOPMENT APPLICATION AREA SCHEDULE

BUILDING AREAS	
WAREHOUSE 3	11,450 m²
OFFICE 3 (2 LEVEL)	500 m²
TOTAL BUILDING AREAS	11,950 m²
CAR PARKING REQUIRED	51
CAR PARKING PROVIDED	57

BREEZEWAY AREA		4,550 m²
LANDSCAPING		
LANDSCAPING (LEP E2 ZONE WITHIN PROPERTY BOUNDARY)	11,239 m²	
EXISTING STORM WATER CHANNEL WITHIN APPLICATION AREA	742 m²	
REQUIRED LANDSCAPE AREA AT 15% TOTAL LEASED SITE AREA	12,527 m²	
PROPOSED LANDSCAPE AREA (INC. E2 ZONE WITHIN THE LOT BOUNDARY)	23,679 m²	

Notes
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NSW Registered Architect Song Kitcharayothin, 7895

Issue	Description	Date
A	Issue For Discussion	14.08.2018
B	Issue For Discussion	15.08.2018
C	Issue For Discussion	16.08.2018
D	Issue For Information	14.09.2018
E	Issue For Information	21.09.2018
F	Issue For Information	18.12.2018

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CONCEPT MASTERPLAN

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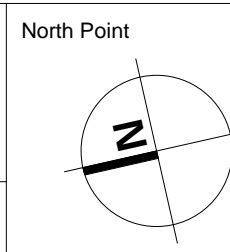
Client
FIFECAPITAL

Managing Consultant
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E. david@tubb.com.au



Project
INDUSTRIAL DEVELOPMENT
LOTS 3 & 12, 7 DURSLEY ROAD,
YENNORA NSW

Drawn	Checked	Print Date
BF	SK	18/12/2018 9:47:06 AM



Drawing Title
MASTER PLAN

Drawing Number
115004_MP_001

Issue
F



1 VIEW FROM CORNER OF DURLEY RD AND PINE RD



2 AERIAL VIEW FROM CORNER OF DURLEY RD AND PINE RD

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Client

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Managing Consultant

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Project		
PROPOSED INDUSTRIAL DEVELOPMENT		
LOTS 3 & 12, 7 DURSLEY ROAD YENNORA NSW		
Drawn	Checked	Print Date
FA	SK	2018/08/28

North Point

Drawing Title

PERSPECTIVES

Drawing Number

115104_A_S96_9000

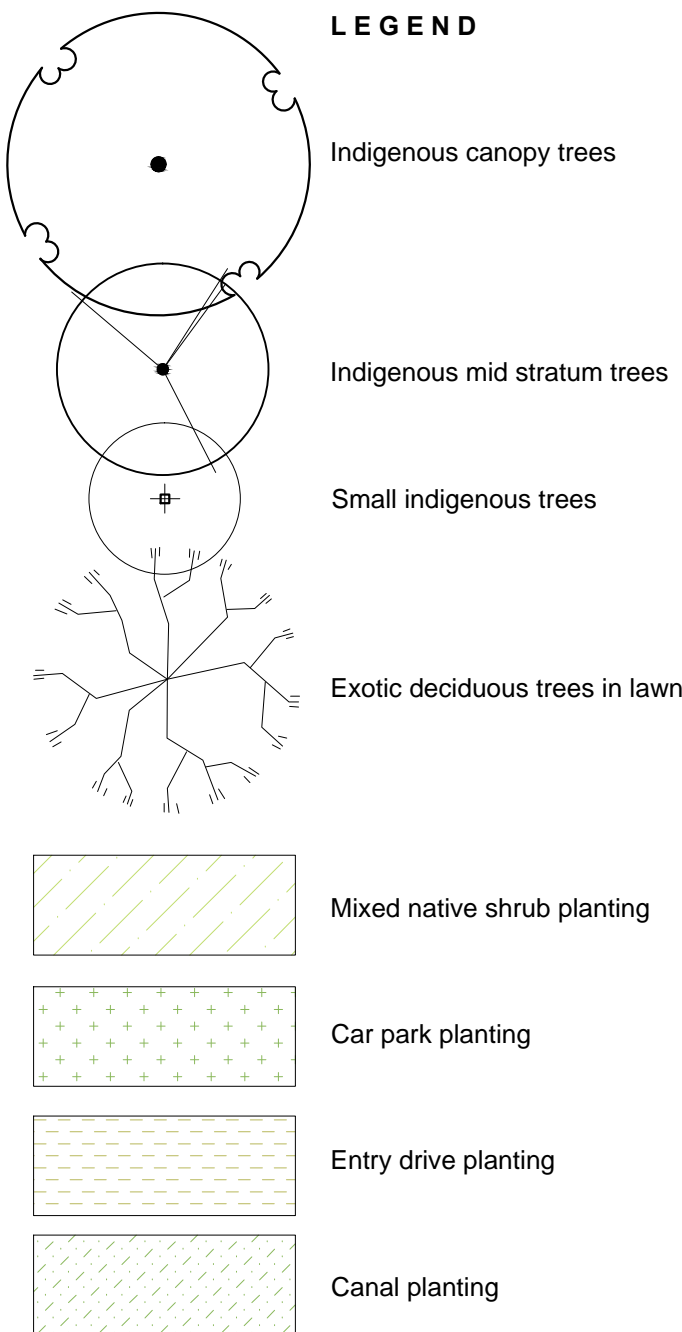
Issue

H

Proposed Industrial
Development
Lot 3 and 12
7 Dursely Road, Yennora
Warehouse 1
Landscape DA

DRAWING LIST

Drawing Number	Drawing Title
L00	Cover Sheet
L01	Legend, schedule and softworks notes
L02	Site plan and sheet layout
L03	Softworks plan
L04	Softworks plan
L05	Softworks plan
L06	Softworks plan
L07	Softworks plan
L08	Softworks plan
L09	Softworks plan
L10	Softworks plan
L11	Softworks plan
L12	Softworks plan
L13	Softworks plan



Dgg (Brown) decomposed granite gravel access path. 1:14 max grade. Stabilise with cement to prevent erosion. Edge with garden edging as specified.

Ge Garden edging

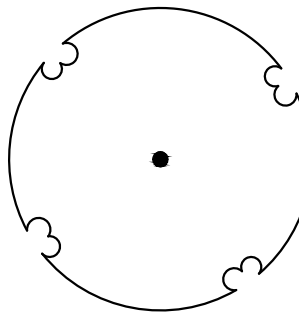
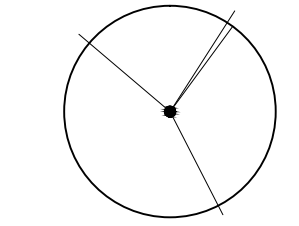
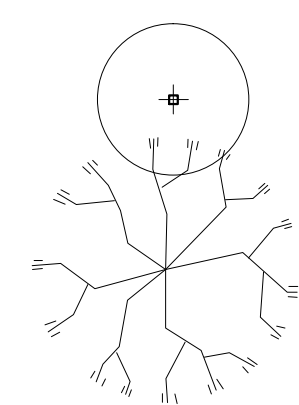
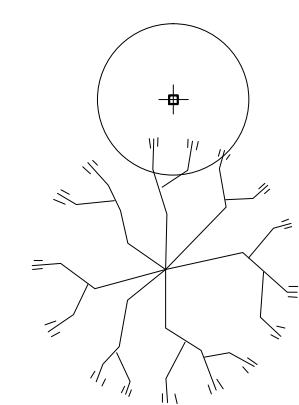
NT New Turf





Refer Architectural and engineers drawings, and 'Softworks notes' for existing and proposed level information.

Refer Arborist report for tree retention and removal.

Refer Vegetation Management Plan (Cumberland Ecology) for E2 ripariancorridor works.

PLANTING LEGEND & SCHEDULE (WAREHOUSE 1)

NEW TREE PLANTINGS					
Sym.	Botanical Name	Qty.	Pot Size	Hght. at Planting	
	INDIGENOUS CANOPY TREE MIX Provide an even mix of the following species: Angophora floribunda Eucalyptus tereticornis Eucalyptus eugenioides Eucalyptus fibrosa Eucalyptus amplifolia Eucalyptus crebra Eucalyptus moluccana Syncarpia glommulifera	75	Forest tube	0.5m	
	INDIGENOUS MID STRATUM TREE MIX Provide an even mix of the following species: Melaleuca bracteata Melaleuca linariifolia Melaleuca decora Melaleuca styphelioides Callistemon salignus	25	200mm	1m	
	SMALL INDEGENOUS TREES MIX Provide an even mix of the following species: Acacia decurrens Acacia paramattensis Acacia binervia Acacia floribunda	53	Forest tube	1m	
	EXOTIC DECIDUOUS TREES Jacaranda mimosifolia	2	100 ltr	2.8m	

NEW SHRUB & GROUNDCOVER PLANTINGS							
Sym.	Botanical Name	Area.	Spacing.	Qty.	Pot Size	Hght. at Planting	
	MIXED NATIVE SHRUB PLANTING MIX Provide an even mix of the following species: Pultenaea villosa Indigofera australis Senna odorata Grevillea juniperina Callistemon pinifolius Goodenia ovata Breynia oblongifolia Bursaria spinosa Melaleuca nodosa Osothamnus diosmifolius	2720m2	0.8m	4250	Tube	0.3m	
	CAR PARK SURROUNDS PLANTING MIX Provide an even mix of the following species: Dianella revoluta Dianella longifolia Plectranthus parviflorus Echinopogon caespitosus Entolasia marginata Cymbopogon refractus Melaleuca thymifolia	441m2	0.6m	1225	Tube	0.2m	
	ENTRY DRIVE PLANTING Grevillea juniperina 'Molonglo'	60m2	0.8m	93	200mm	0.2m	
	CANAL PLANTING Imperata cylindrica	628m2	0.8m	981	Tube	0.2m	

SOFTWORKS NOTES

The site has been heavily modified being located within an industrial area to the rear of industrial factories. Prospect Creek runs to the rear of the site. Riparian banks are heavily weed infested.
Indigenous Eucalypt species have been recommended where to replenish the local native canopy.
Indigenous understorey species have also been recommended to augment the natural systems of Prospect Creek.

1. FINISHED LEVELS
For finished levels of hard surfaces, refer architectural and civil drawings. Landscape levels are to marry with these levels through cut and fill of landscape zones as required to achieve the following:
 1. Finished garden levels (mulched surfaces) to be set at Flush with adjacent surfaces.
 2. Gardens to be graded between adjacent surfaces on a flat plane.
 3. Gardens abutting buildings must be set below damp courses / edge beams etc to prevent rising damp and easy termite access.
 4. Gardens abutting buildings must grade away from facades and toward drainage points.
 5. Gardens abutting carparks must be set flush with top of kerb.
 6. Lawn areas to have a 1% slope to ensure overland flow toward stormwater systems.
 7. All landscape levels must coordinate with civil flood mitigation requirements.
2. SOIL PREPARATION
GENERAL
Site topsoil to be stripped stockpiled and re-used where not contaminated (0 and A horizon only).
All underground services must be located prior to any soil works being undertaken.
Remove all contaminants from the topsoil including builders waste, overburden, and chemical wash out zones.
Cultivated subsoils after machine works to break up and allow oxygen and water percolation.
Apply topsoil to a minimum depth of 500 for tree locations, and 100mm for lawn areas. Cultivate if compacted during machine installation.
CAR PARK PLANTING AREAS:
Garden areas delineated by car park on 3 sides, or fully enclosed by car park civil engineering are to be excavated to a minimum depth of 800mm. The remaining subsoil is to be cultivated. Additional to any drainage nominated by the civil engineering drawings all car park planting areas are to be provided with 100mm flexible subsoil drainage in filter sock connected into nearest stormwater pit. To minimise long term compaction backfill with improved site topsoil adding 25% nepean river sand.
Soils beneath the canopy of existing trees to be retained are not to be excavated. Remove all weed growth and cultivated topsoil during planting operations.
Should additional topsoil be required to satisfy new levels and grades import VENM (clean natural uncontaminated topsoil stripped from the 0 and A soil horizons only).
Where VENM is unavailable import Australian Native Landscapes Barangaroo Type C topsoil mix. This topsoil is specifically recommended to ensure no chemical impact on indigenous plant material to be installed.
Chemically rich soils which will produce toxicity in any of the specified plant species is not to be installed. Soils installed that affect the health of the sensitive native species installed may be detected and require removal.
3. DRAINAGE
Subsoil drainage is to be provided to all carpark planting areas and connected to the sites stormwater system.
4. EROSION AND SEDIMENT CONTROL
The Contractor is to implement effective erosion and sedimentation control preventing the egress of turbid water and gross pollutants from entering the stormwater system.
For banks greater than 1:3 install Jute Webbing.
5. PLANT PROCUREMENT, SUBSTITUTION, INSTALLATION
Procurement:
The plant species recommended will require sourcing from a specialist indigenous plant nursery. Sourcing will likely require an extended lead time. Sourcing is therefore recommended ahead of engaging a landscape contractor.
All plant species are to be healthy with no evidence of pest, chemical deficiencies, poor pruning practice, and girdling roots.
Trees are to have strong enough stems to support their own weight. Staking is therefore not required.
Substitution:
Plant species installed are to be the species nominated in the plant schedule. SUBSTITUTES ARE NOT TO BE INSTALLED WITHOUT APPROVAL OF EXIMIA DESIGN.
Where nominated pot sizes are not commercially available the contractor is to alert the principal in writing and submit a revised tender. Unapproved, undersized plants are subject to defect.
Planting procedure:
Ensure in ground soils are moist prior to planting.
Leave plants in pots until immediately before planting. Do not expose root system to sun. Water pots immediately prior to planting.
Excavate planting whole 2 times the diameter of the pot and no deeper. Roughen sides of planting whole to assist root penetration.
'Mud-In' during planting operations by filling planting hole with water prior to planting.
Place the top of the root ball flush the topsoil.
DO NOT PLANT ANY LOWER OR HIGHER THAN THE POTTED SOIL SURFACE.
DO NOT COVER THE TRUNK / MAIN STEM WITH MULCH. Hold mulch back away from the stem.
Tease out root systems to prevent girdling roots.
Gently backfill around the plant with hands to fill air pockets.
Water immediately after planting.
For pot sizes larger than forest tube, the contractor must root prune all tree species at installation by cutting back the root area bound by the pot by 10%.
6. NEW TURF
Winter Green Couch turf rolls.
7. GARDEN EDGING
Edging between lawn and garden to be UV stabilised 150x20mm Charcoal colour 'Smart Edge' supplied by Smart Planter. Install flush with lawn. Fix and secure to manufacturers specification. Score at radial corners if required to achieved documented curved corner profiles.
8. MULCH
All garden areas are to be mulched with decomposed leaf mulch including woodchips, foliage and twigs of tree species not indentified as Noxious or Environmental Weeds.
9. PLANT ESTABLISHMENT
The Contractor is to maintain plants for 24 weeks, including: watering (install temporary irrigation system if required), replacement of failed plants, weeding, informative pruning and keeping the gardens neat and tidy. Replacement plants must be of the same size. Where species failure appears evidence do not replace with same species, seek approval for substitute.
It is recommended that planting during extreme temperatures is not undertaken due to increased risk of plant shock and death. An optimal temperature range for planting is between 16 to 28 degrees.
Plant maintenance during extreme cold or heat must incorporate additional care measures to minimise environmental stress on establishing plants.
Where temporary irrigation systems are used the contractor is to monitor soil moisture and not 'set and forget' irrigation systems as over-watering is a common cause of plant death during establishment. Allowing soil moisture to fluctuate - do not retain wet. Water in soil displaces oxygen and causes anaerobic decomposition affecting plant health.
Native plants are also susceptible to water born pathogens.
All maintenance works to be undertaken by a qualified horticulturist with a minimum of 3 years field experience.
10. DOCUMENTATION STATUS
This document has been produced for DA lodgement only. It is not approved for construction. Eximia Design does not warrant its accuracy at tender or construction.

Issue amendments					
No.	Date	Description	No.	Date	Description
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B	16.01.19	CC updates	-	-	-
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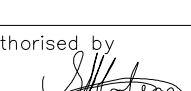
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Project

PROPOSED INDUSTRIAL DEVELOPMENT
Lot 3 and 12
7 Dursely Road, Yennora

Drawing Title

LEGEND, SCHEDULE & SOFTWORKS NOTES

Scale **NA**

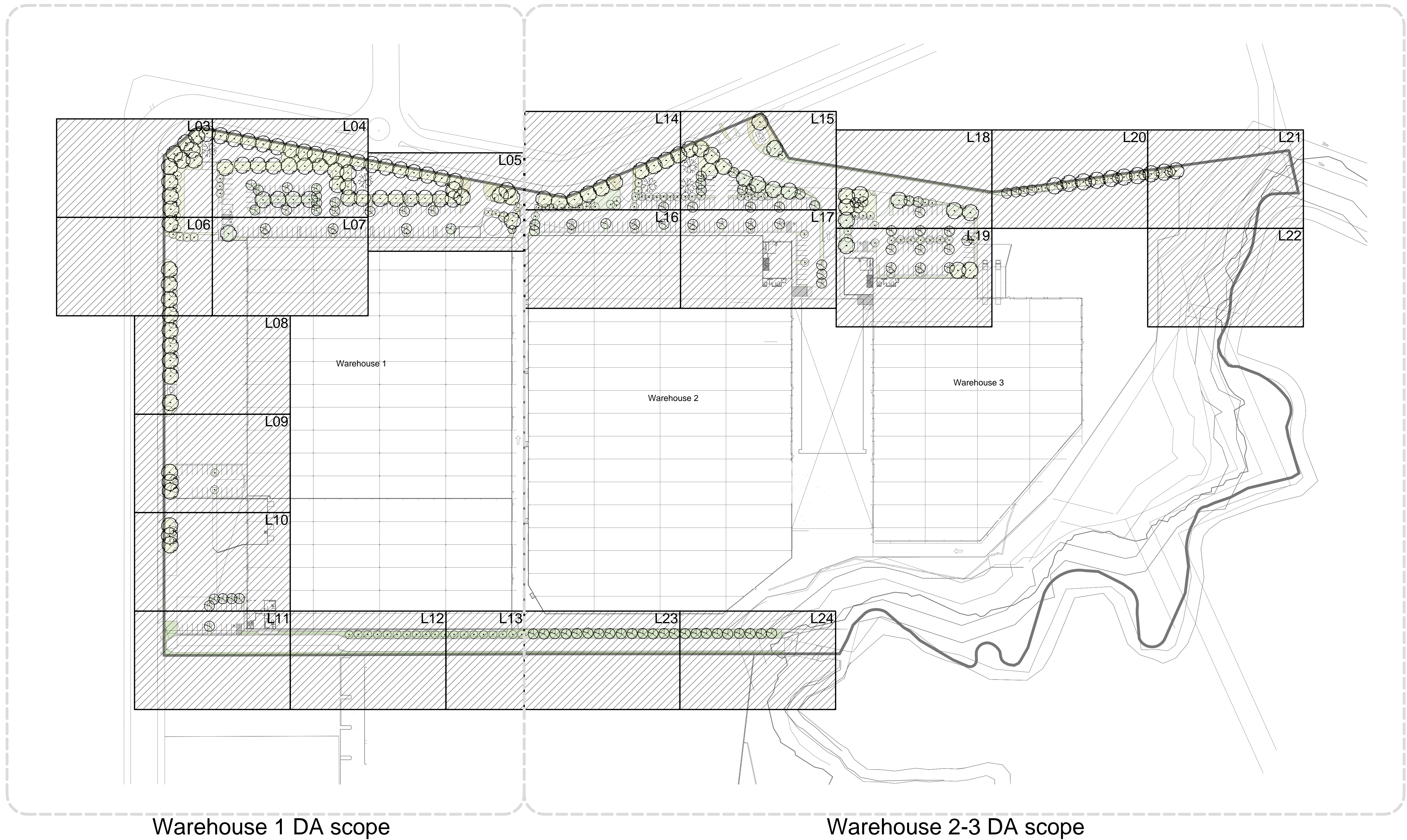
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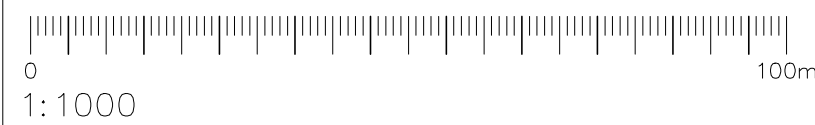
Issue

B



Warehouse 1 DA scope

Warehouse 2-3 DA scope



Issue amendments					
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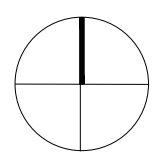
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Project

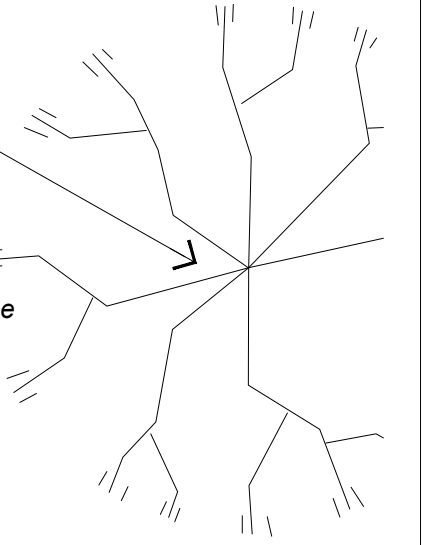
PROPOSED INDUSTRIAL DEVELOPMENT
Lot 3 and 12
7 Dursely Road, Yennora

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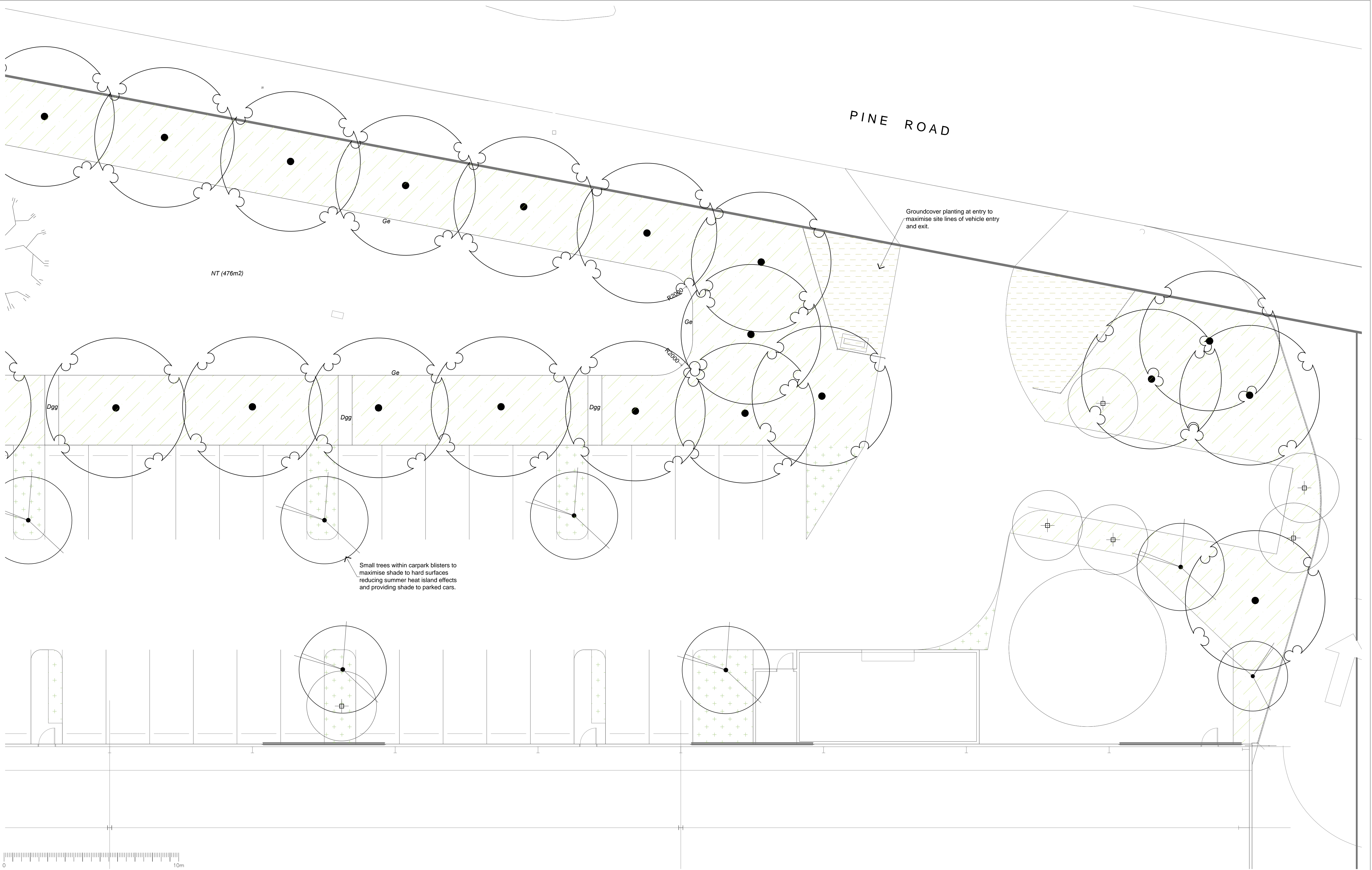


Ornamental deciduous tree in lawn creating a small 'pocket park' for worker- and visitor amenity.

unit pavement to building breakout space.



Drawing Title		
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Scale 1:100@A1	Date 16-01-2019	Issue B
Proj. No. 1711	Drg. No. L03	



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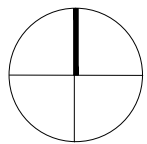
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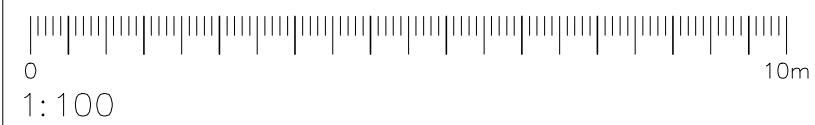
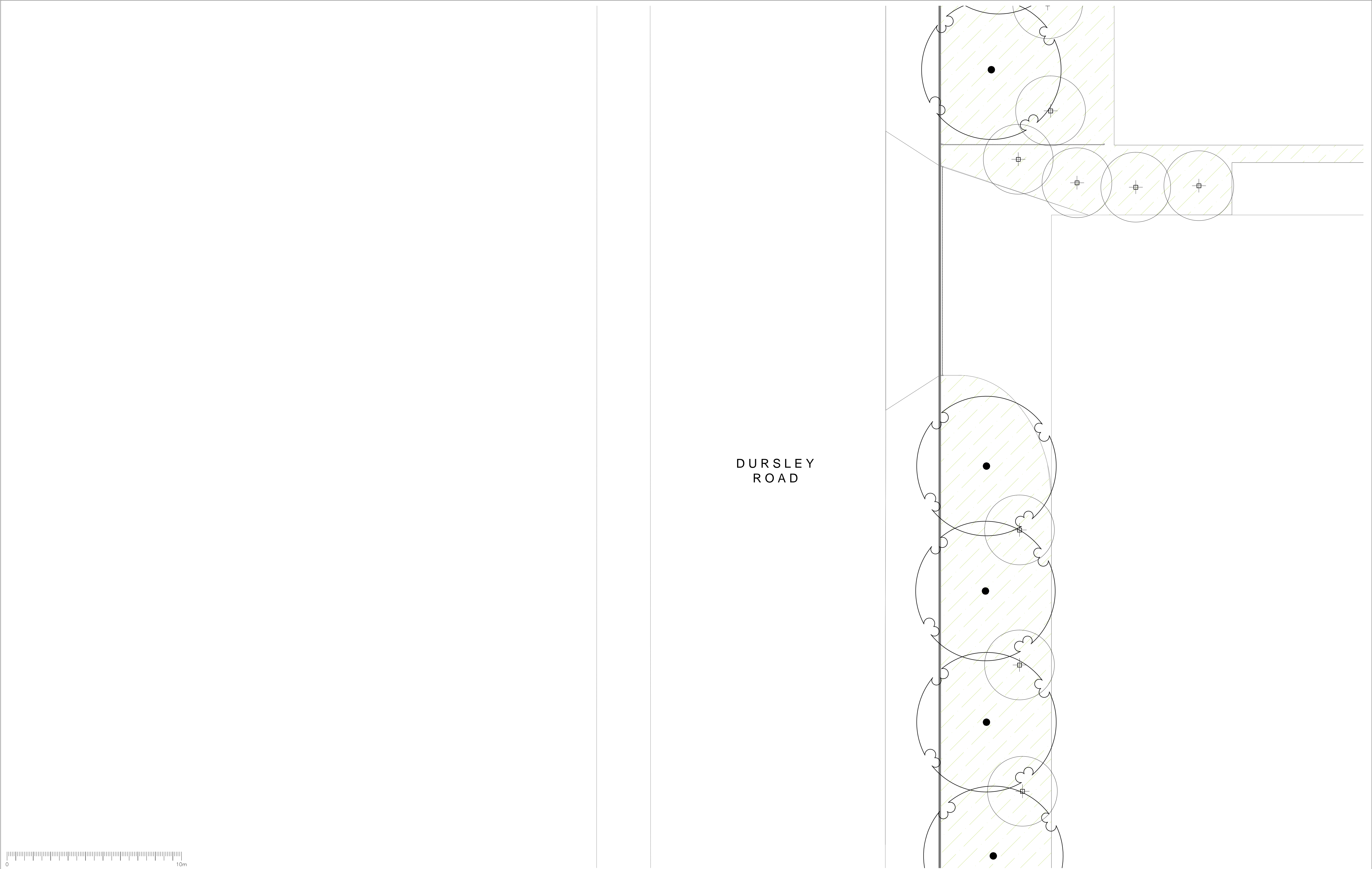
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PROPOSED INDUSTRIAL DEVELOPMENT
Lot 3 and 12
7 Dursely Road, Yennora

Drawing Title
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Proj. No. **1711**

Date **16-01-2019**
Drg. No. **L05**

Issue
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Issue amendments								
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B	16.01.19	CC updates
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PROPOSED INDUSTRIAL DEVELOPMENT

Lot 3 and 12

7 Dursely Road, Yennora

Drawing Title

SOFTWARES PLAN

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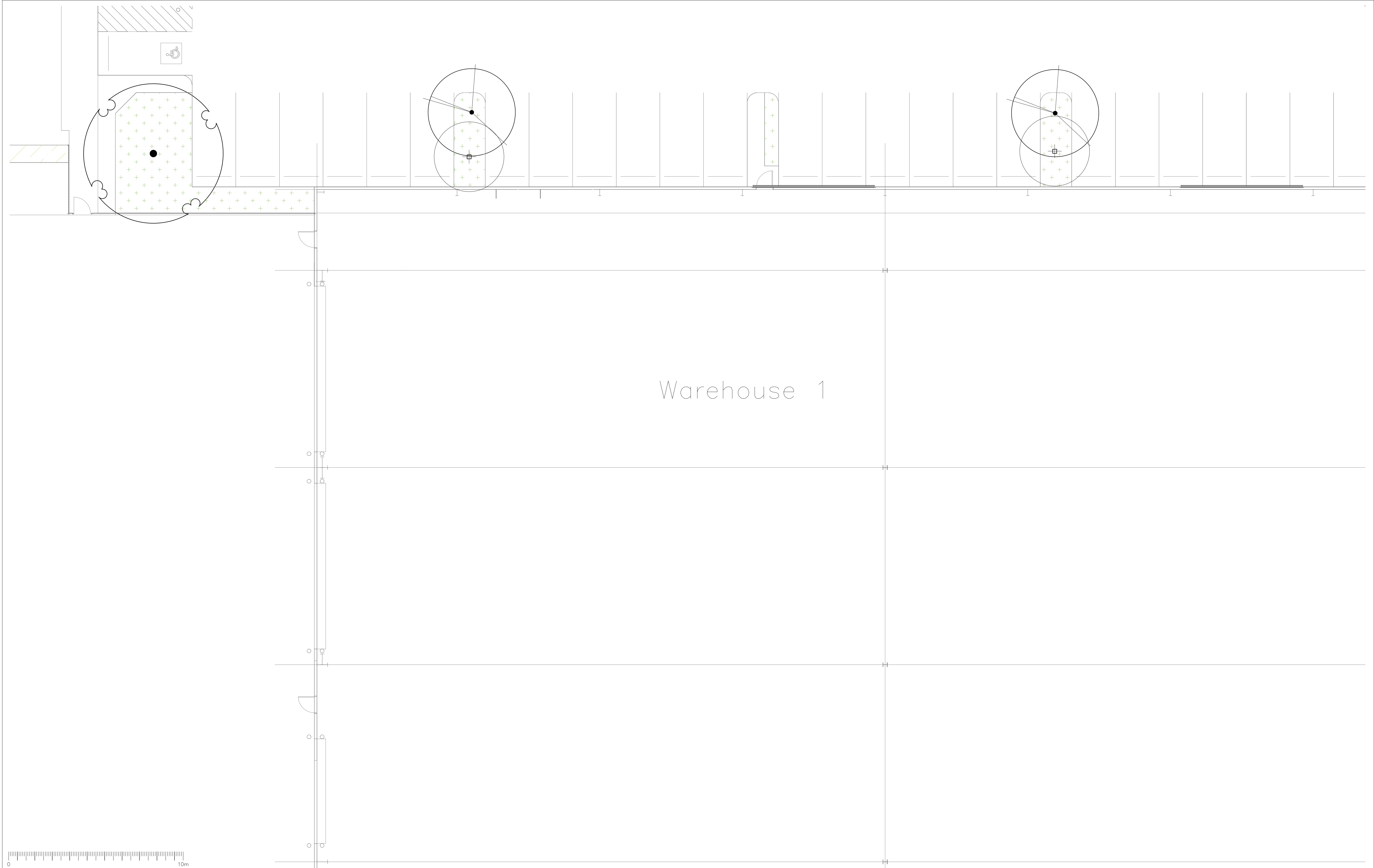
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PROPOSED INDUSTRIAL DEVELOPMENT
Lot 3 and 12
7 Dursely Road, Yennora

Drawing Title
SOFTWARES PLAN

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Date **16-01-2019**

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1711

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Issue
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Lot 3 and 12
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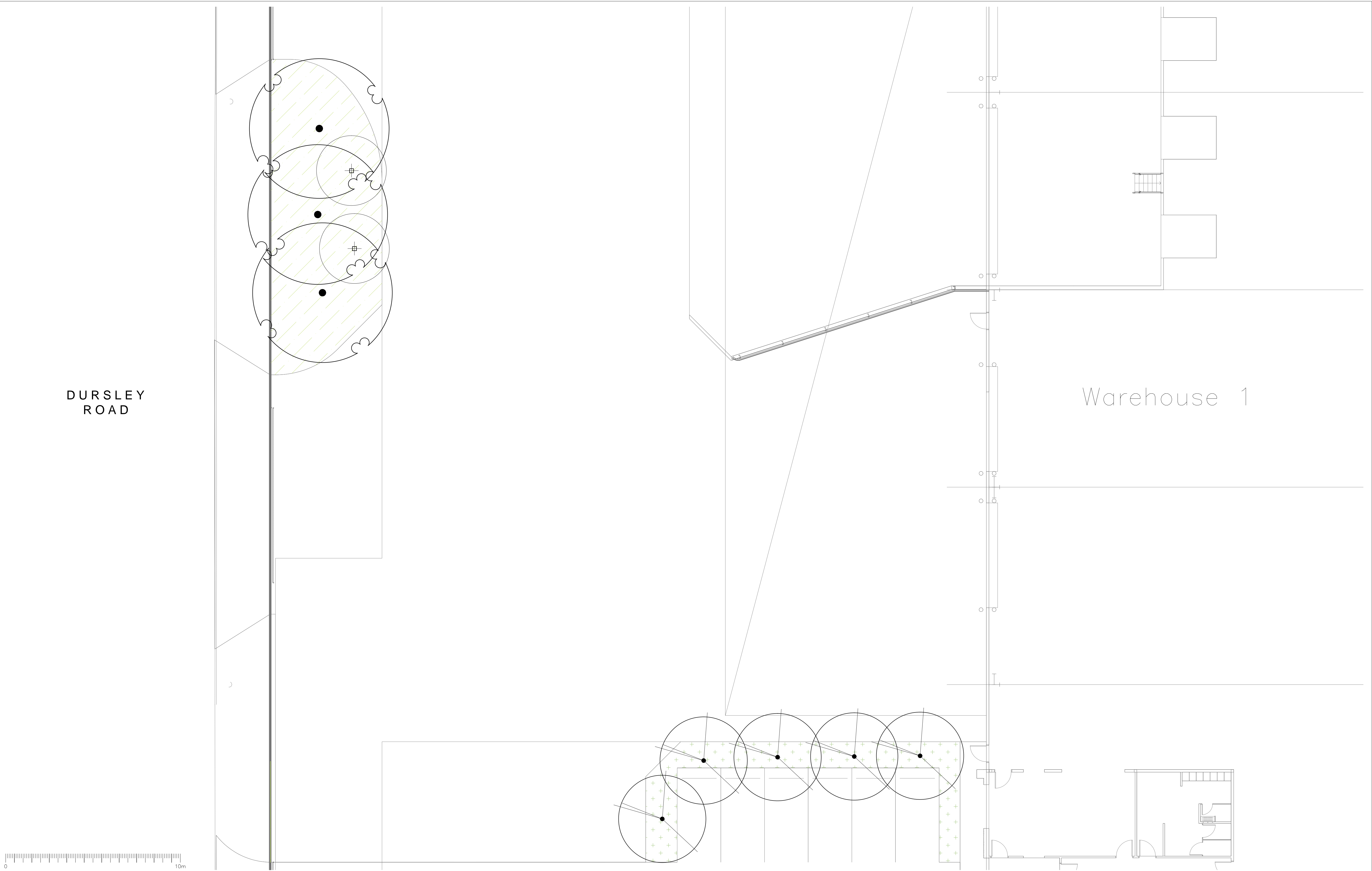
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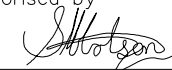
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PROPOSED INDUSTRIAL DEVELOPMENT
Lot 3 and 12
7 Dursely Road, Yennora

Drawing Title

SOFTWARES PLAN

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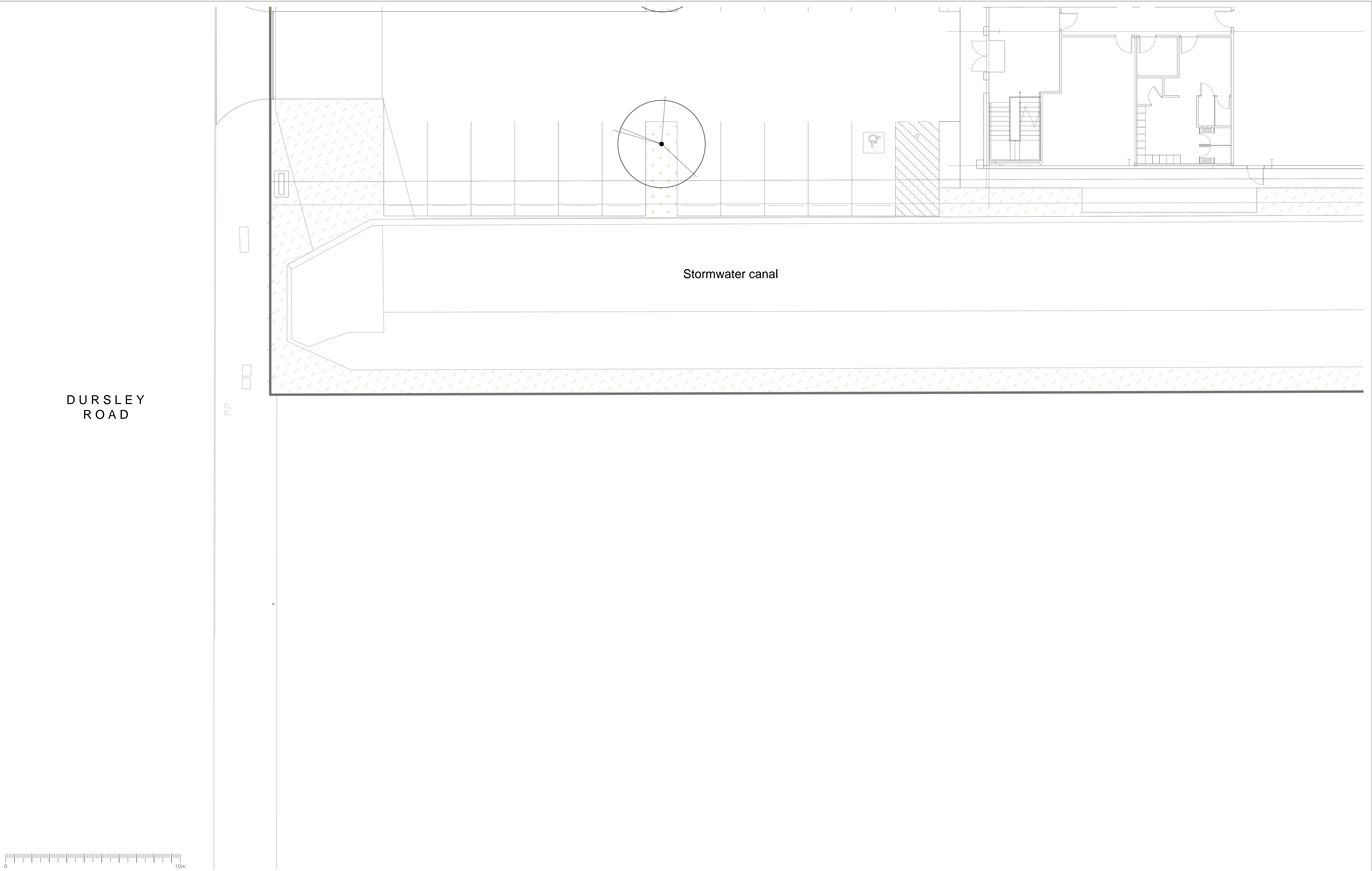
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Date: **16-01-2019**

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Issue

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No.	Date	Description	No.	Date	Description	No.														
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Warehouse 1

Stormwater canal



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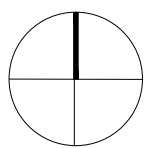
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PROPOSED INDUSTRIAL DEVELOPMENT
Lot 3 and 12
7 Dursely Road, Yennora

Drawing Title

SOFTWARES PLAN

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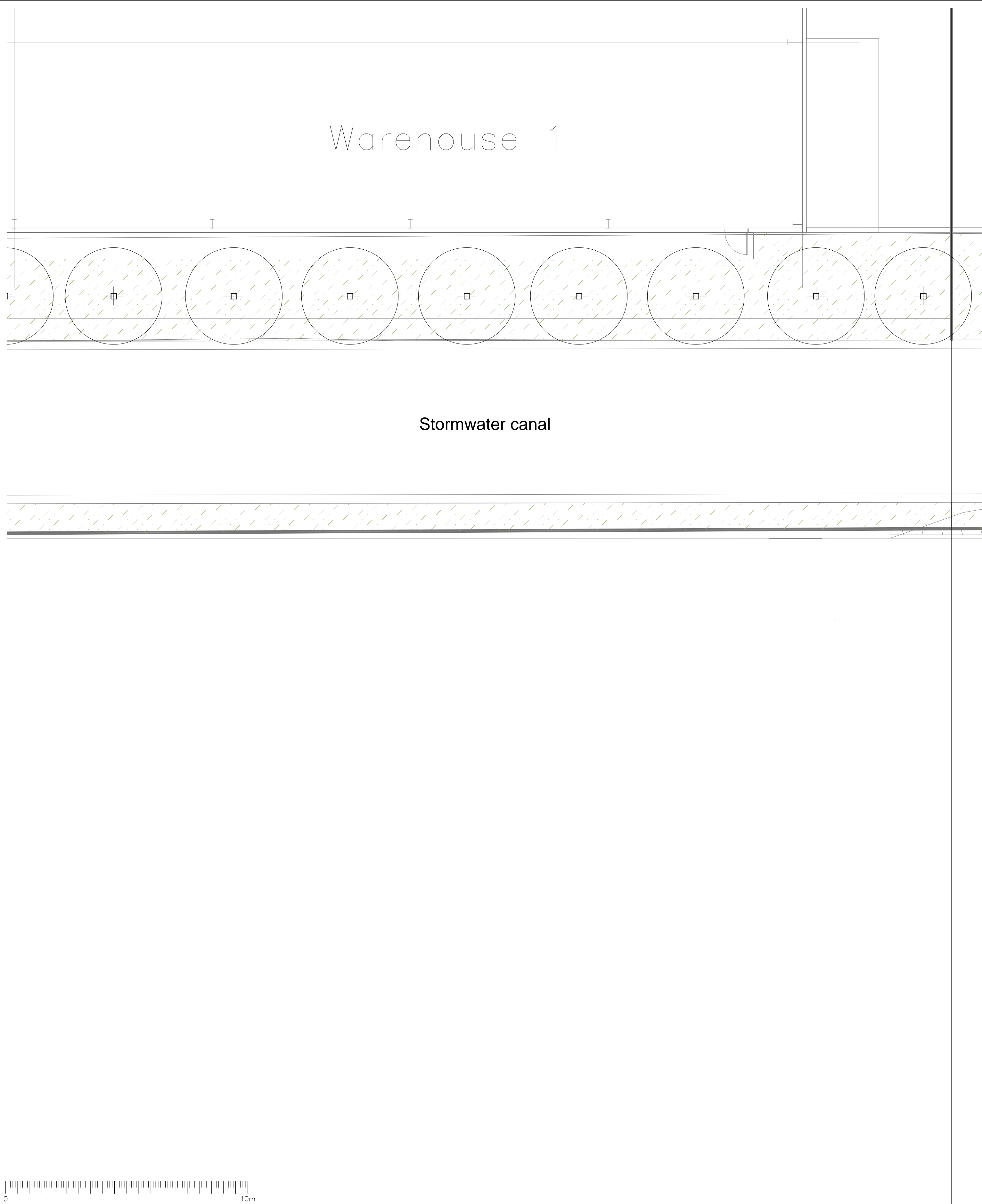
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Date 16-01-2019

Drg. No. L12

Issue

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Project

**PROPOSED INDUSTRIAL
DEVELOPMENT
Lot 3 and 12
7 Dursely Road, Yennora**

Drawing Title

SOFTWARES PLAN

Scale **1:100@A1**

Date **16-01-2019**

Issue **B**